

Building Permits & Inspections is now doing Drywall nail inspections and Insulation inspections. Inspection code 114 for Insulation. Inspection code 111 for Drywall nail. Please schedule these inspections prior to installing drywall or finishing drywall.

PLANNING APPROVAL

08/20/2024 Emma James

Date Planner

RD-7 20 n/a 4 4

SPECIAL CONDITIONS/COMMENTS

ADU

PERMIT NUMBER

CBNR2024-00878

# THUY NGUYEN'S RESIDENCE

## 6324 STACY AVE, SACRAMENTO CA, 95823

PLANS APPROVED FOR PERMIT

Sacramento County Department of Community Development

Building Permits and Inspection Division

The approval of this plan is in conformity with the requirements of the County ordinance, and the County does not assume any responsibility for the structural design. Permittee is required to contact the local Fire Authority where this project is located for their requirements prior to construction.

NAME Tony Nguyen

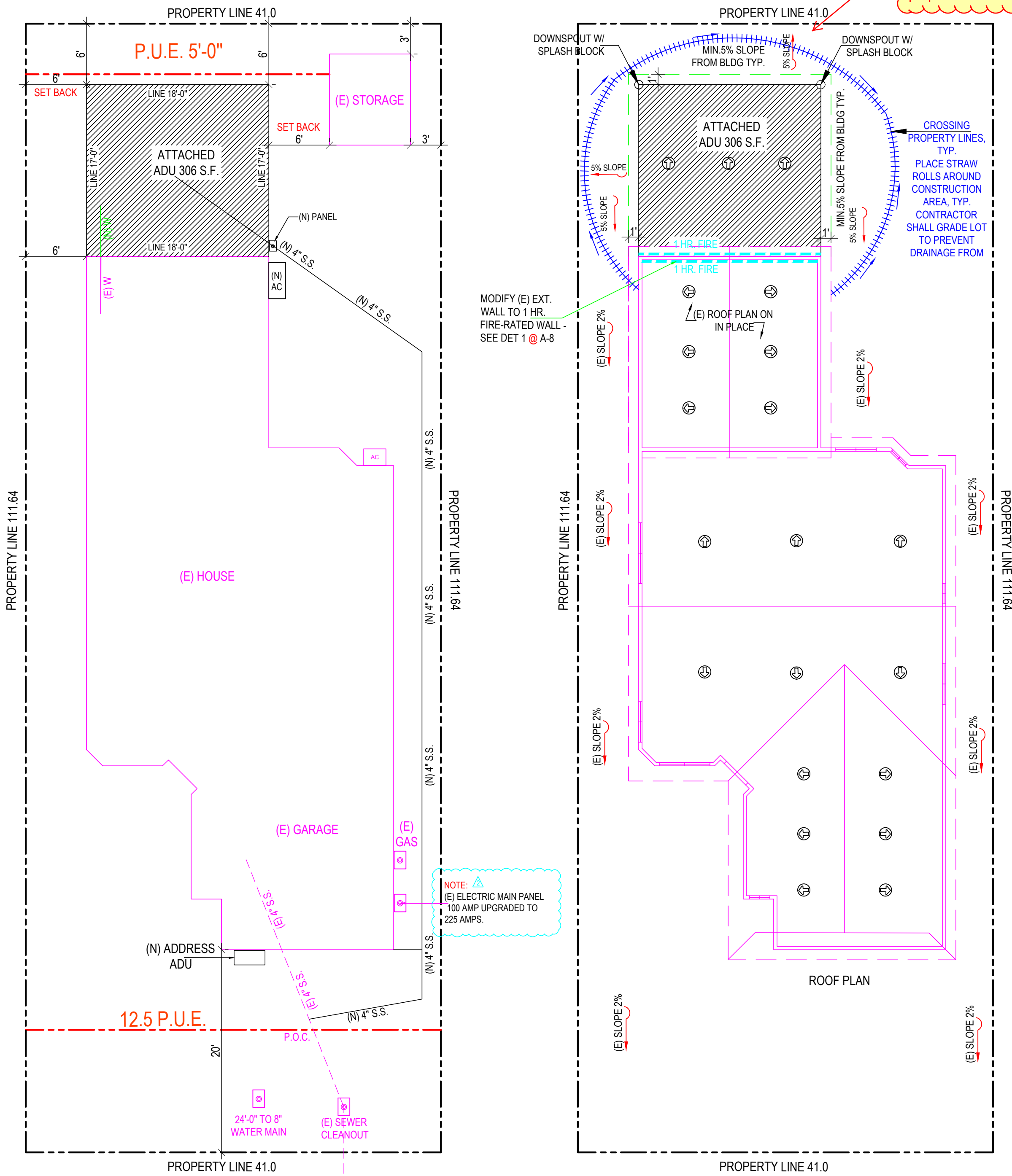
DATE 10/07/2024

### STRUCTURAL GENERAL NOTES

- DESIGNATE ONE AREA OF THE CONSTRUCTION SITE FOR THE STAGING OF VEHICLES, MATERIAL DELIVERIES, AUTOS AND EQUIPMENT. CONSTRUCTION RELATED ITEMS STORED ON-SITE SHALL BE CONFINED TO THIS AREA. REFUELING AND ROUTINE VEHICLE AND EQUIPMENT MAINTENANCE SHALL BE PERFORMED IN THE DESIGNATED AREA. THE DESIGNATED AREA SHALL BE WELL AWAY FROM STREAMS OR OTHER SURFACE STORM DRAINAGE SYSTEMS, SO AS TO AVOID POTENTIAL CONTAMINATION OF THE RUN-OFF. THE LOCATION SHALL BE COORDINATED WITH THE BUILDING OWNER.
- EQUIPMENT UTILIZED ON THE PROJECT SHALL BE WELL MAINTAINED AND IN GOOD WORKING ORDER. INSPECT ALL EQUIPMENT REGULARLY, WITH ANY MAJOR REPAIRS NECESSITATED PERFORMED OFF-SITE. EQUIPMENT SHALL NOT REMAIN STORED ON-SITE FOR PERIODS LONGER THAN THAT NEEDED FOR THE INTENDED FUNCTION, BASED UPON THE WORK BEING PERFORMED. WASHING OF EQUIPMENT SHALL NOT BE PERFORMED ON-SITE.
- MAINTAIN A DUMPSITE FOR CONSTRUCTION DEBRIS. PLACE DUMPSTER UNDER A ROOF OR COVERED BY TARP SECURED AROUND THE OUTSIDE OF THE DUMPSTER. DO NOT CLEAN OUT A DUMPSTER BY HOSEING DOWN ONTO THE CONSTRUCTION SITE.
- MAINTAIN PORTABLE TOILETS ON-SITE FOR THE USE OF THE CONSTRUCTION PERSONNEL. CHECK FOR LEAKS TO ENSURE THAT THEY ARE IN GOOD WORKING ORDER.
- SCHEDULE EXCAVATION AND GRADING ACTIVITIES FOR DRY WEATHER PERIODS. COVER EXPOSED PILES OF SOIL OR STOCKPILES OF CONSTRUCTION MATERIALS WITH PLASTIC SHEETING OR TEMPORARY ROOFS AND PROTECT FROM WIND. SWEEP OR CLEAN DUST AND DEBRIS ACCUMULATED ON PAVING OR SIMILAR SURFACES THAT DRAIN INTO STORM WATER SYSTEMS PRIOR TO THE ONSET OF INCLEMENT WEATHER. DO NOT HOSE-DOWN SUCH SURFACES WHERE MATERIALS HAVE SPILLED.
- AVOID CREATING EXCESSIVE AMOUNTS OF DUST WHEN BREAKING AND REMOVING ASPHALT OR CONCRETE PAVING. SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM SITE. COVER OR BARRICADE STORM DRAIN INLETS DURING SAW-CUTTING AS NECESSARY. DO NOT HOSE-DOWN STREETS TO CLEAN UP DEBRIS.
- AVOID PAVING AND SEAL COATING IN WET WEATHER, OR IF RAIN IS IMMINENT BEFORE FRESH PAVEMENT WILL HAVE TIME TO CURE. COVER AND SEAL CATCH BASINS AND MANHOLES WHEN APPLYING SLURRY OR SEAL COATS.
- WHEN CLEANING UP AFTER CONCRETE PAVING WORK, WASH FINES AND EXCESS MATERIALS INTO DIRT AREAS. WASH OUT CONCRETE MIXERS ONLY IN DESIGNATED AREAS WHERE WATER WILL FLOW INTO CONTAINMENT PONDS OR ONTO DIRT AREAS. DISPOSAL OF WASHOUT INTO THE STREET OR STORM DRAINAGE SYSTEM IS PROHIBITED BY LAW.
- MAKE EVERY EFFORT TO RECYCLE WASTE PRODUCTS WHERE POSSIBLE. TYPICALLY, SOLVENTS, WATER BASED PAINTS, VEHICLE FLUIDS, BROKEN ASPHALT AND CONCRETE, WOOD AND CLEARED VEGETATION CAN BE RECYCLED. THOSE MATERIALS WHICH ARE NOT RECYCLABLE SHALL BE DISPOSED OF AT AN APPROPRIATE LANDFILL SITE OR TREATED AS HAZARDOUS WASTE AS REQUIRED. IN NO CASE SHALL WASTE PRODUCTS BE BURIED ON-SITE.
- KEEP POLLUTANTS OFF OF EXPOSED SURFACES. CLEANUP SPILLED MATERIALS IMMEDIATELY. CLEAN UP SPILLS ON DIRT AREAS BY REMOVING AND PROPERLY DISPOSING OF CONTAMINATED SOIL. SURFACES WHERE MATERIALS HAVE BEEN SPILLED SHALL NOT BE HOSED-DOWN, USE DRY CLEANUP METHODS WHENEVER POSSIBLE. WHERE WATER MUST BE USED, USE IT SPARINGLY. SIGNIFICANT HAZARDOUS SPILLS SHALL BE REPORTED TO THE APPROPRIATE SPILL AGENCY IMMEDIATELY AND/OR DIAL 911 AS NECESSARY.
- CONSTRUCTION SITE SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND COUNTY STANDARD DETAIL AND SPECIFICATION SI-7.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE COUNTY OF SACRAMENTO STANDARD SPECIFICATION, DATED JUNE 2007.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-642-2444, 48 HOURS BEFORE WORK IS TO BEGIN.
- THE CONTRACTOR SHALL PROVIDE EROSION, SEDIMENT, AND POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMPs) WHEN AND WHERE APPLICABLE PER THE COUNTY OF SACRAMENTO STANDARD SPECIFICATIONS SECTION 16.3.
- DIRECT ALL NEW DOWNSPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE FEASIBLE.
- FLOOD ZONE X PANEL 0302
- NO PERMANENT STRUCTURE (INCLUDING WITHOUT LIMITATION GARAGES, PATIOS, CONCRETE SLABS, TOOL SHED, ROOF OVERHANGS AND SIMILAR STRUCTURES) SHALL BE CONSTRUCTED ON TOP OF WATER, SEWER OR DRAINAGE PIPELINES OR ANYWHERE WITHIN THE ASSOCIATED UTILITY EASEMENTS. (ORD. 2001-033)
- CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT LOCATIONS AND PROTECTION OF ALL EXISTING MAINS AND LINES. YOU CAN CONTACT COUNTY CREWS AT 311 TO LOCATE SERVICES. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO DETERMINE THE LOCATION OF ANY EASEMENTS OF RECORD ENCOMBERED WITHIN THE PROPERTY

Smoke and Carbon Monoxide Alarms are required to be installed and operational at Final Inspection.

The Building Inspector will need to have access to verify location and operation before permit is final.

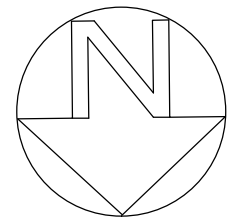


TECHNICAL RESOURCES CONFIRMS THE PROPOSED STRUCTURE(S) ON THE SITE PLAN IS OUTSIDE KNOWN PUBLIC EASEMENTS AND THE PROPERTY LAYOUT IS CONSISTENT WITH THE ASSESSOR'S PARCEL PAGE.

NAME: Cynthia Rocha DATE: 08/20/2024

ENCROACHMENT OF STRUCTURES INCLUDING OVERHANGS IS NOT PERMITTED WITHIN PUBLIC AND PRIVATE EASEMENTS.

ANY WORK WITHIN THE ROAD RIGHT-OF-WAY REQUIRES AN APPROVED ENCROACHMENT PERMIT OR APPROVED IMPROVEMENT PLAN. TECHNICAL RESOURCES DOES NOT APPROVE BUILDING SETBACKS FROM ROADWAYS AND PROPERTY LINES.



SITE PLAN - SCALE: 1 / 8" = 1'-0"

### PROJECT DATA

OWNER: THUY NGUYEN  
PHONE NUMBER: (916) 239-8086  
EXISTING USE: SINGLE FAMILY RESIDENCE  
LOCATION: 6322 STACY AVE, SACRAMENTO CA, 95823  
APN: 050-0570-0700  
ZONING: RD-7 - LOW DENSITY SINGLE-FAMILY RESIDENTIAL  
LOT GROSS SIZE: 4,573 S.F.  
OCCUPANCY GROUP: R-3U  
TYPE OF CONSTRUCTION: V-B  
FIRE SPRINKLER: NONE  
YEAR BUILT: 1989  
ALLOWABLE FLOOR AREA: 2,057 S.F.  
LOT AVERAGE SLOPE: (FLAT)  
FLOOR AREA: EXISTING 1,558 S.F., PROPOSAL 306 S.F., TOTAL 1,864 S.F.  
DWELLING: 1,558 S.F., 306 S.F., 1,864 S.F.  
GARAGE: 389 S.F., 389 S.F.  
TOTAL FOOTPRINT: 1,864 S.F., 40.8 %  
FAR: 40.8 %

### SCOPE OF WORK

- ATTACHED ADU IN THE BACK 306 S.F. (INCLUDED: 1 BEDROOM, 1 LIVING ROOM, 1 BATHROOM AND 1 KITCHEN)
  - CHANGE THE SIDING WALLS OF THE MAIN HOUSE TO STUCCO AND REMOVED BALCONY
  - (E) PATIO DOOR 6068 IN THE BACK TO CLOSED
  - (E) WINDOW 4040 CHANGED TO (N) DOOR 3068
  - (E) PATIO DOOR 6068 ON SECOND FLOOR CHANGED TO (N) WINDOW 4040
  - (E) HOUSE WALL 516" GYP. TYPE-X BOARD TO 1 HR. FIRE-RATED WALL SEE DETAIL 1 @ A-8 (COMPLY WITH R302.11)
  - UPGRADE EXISTING ELECTRIC MAIN PANEL FROM 100 AMP TO 225 AMPS.
- HERS VERIFICATION
- BUILDING-LEVEL VERIFICATIONS AND PV: None required, SMUD program
  - QUALITY INSULATION INSTALLATION (QI)
  - INDOOR AIR QUALITY VENTILATION
- COOLING SYSTEM VERIFICATIONS
- MINIMUM AIRFLOW
  - VERIFIED SEER
  - VERIFIED SEER
  - FAN EFFICACY WATTS/CFM
- SPECIFICATION SUMMARY:
- Water Heater: New 40 Gal Heat Pump Water Heater (HPWH) (Rheem XE40T10H45U) - 15k BTU/Hr - Uniform Energy Factor (UEF) 3.1
- HVAC: New Mini Split - Heating, 7.5 HPF2 - Cooling, 14.3 SEER2, 11.7 EER2 - Ductless - Variable Capacity Heat Pump (VCHP) credit requires
- HVAC: additional HERS Testing
- Quality Insulation Installation (QI): Yes
- Walls: R-13 in 2x4 - Windows & Glass Doors: U-Factor 0.30 - SHGC 0.23
- Roof: Attic: R-38 w/ Radiant Barrier

### STRUCTURAL GENERAL NOTES

#### G. NAIL SCHEDULE

- WOOD MEMBERS SHALL BE CONNECTED WITH NAILING INDICATED IN TABLE 2304.9.1 OF 2022 CBC UNLESS GREATER SIZES AND NUMBER OF NAILS ARE SHOWN OR NOTED ON DRAWINGS; NAILS EXPOSED TO WEATHER SHALL BE GALVANIZED; NAILS SHALL BE COMMON WIRE NAILS; HOLES FOR NAILS SHALL BE PROVIDED WHERE THE WOOD TENDS TO SPLIT; SPLIT WOOD MEMBERS SHOULD BE REPLACED AND REMOVED FROM THE JOB PROMPTLY. SHORT PLYWOOD NAILS FOR EQUIVALENT SHEAR VALUE MAY BE USED. SEE PLANS FOR NAIL SPACING. NAIL ROOF SHEATHING 8d @ 6" O.C. AT SUPPORTED EDGES. 8d @ 10" INCHES O.C. AT INTERMEDIATE SUPPORTS. FLOOR SHEATHING 8d @ 6" O.C. AT BOUNDARIES AND PANEL EDGES AND 8d @ 10" O.C. AT INTERMEDIATE SUPPORTS. PLYWOOD WALL SHEATHING SHALL BE NAILED PER SHEAR WALL SCHEDULE AT SHEAR WALLS, AND AT A MINIMUM OF 8d @ 6" O.C. ALL OTHER EDGES.
- AT PRESSURE TREATED LUMBER USE HOT-DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

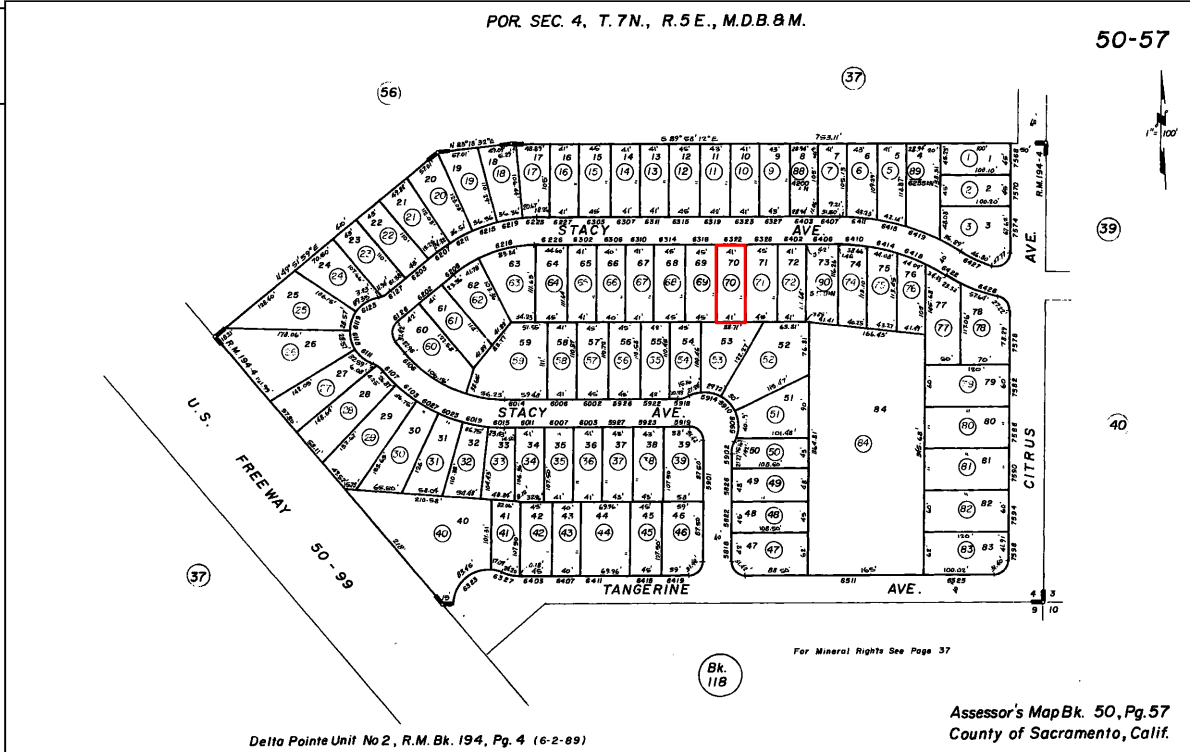
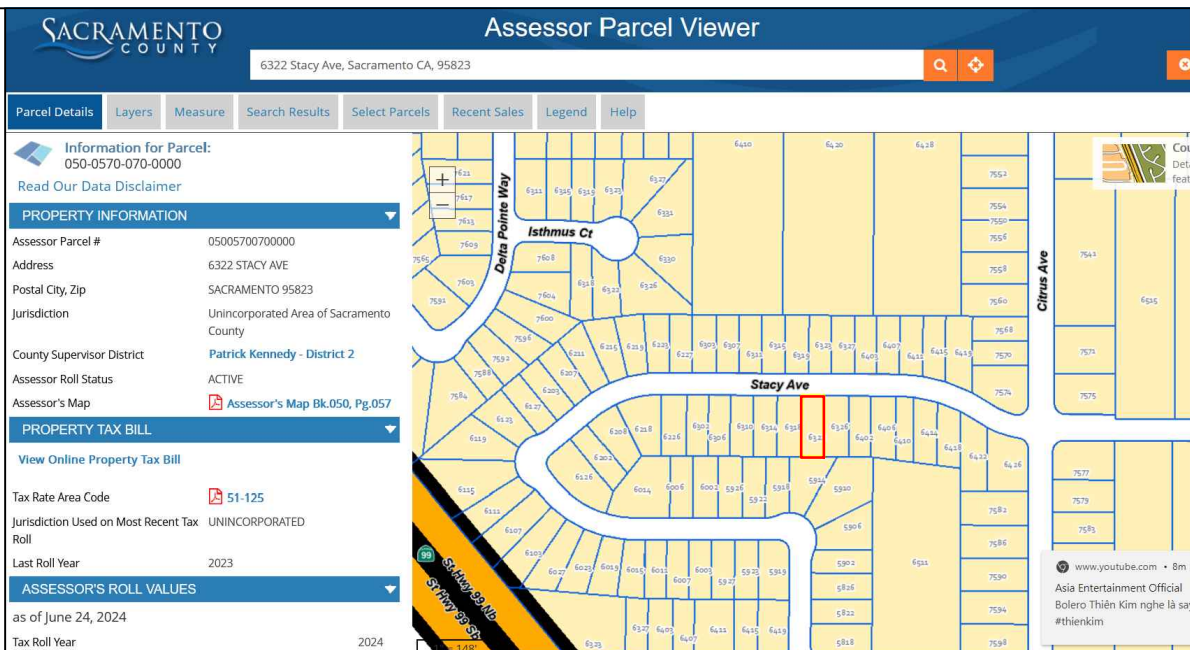
### APPLICABLE CODES

#### CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- 2022 CALIFORNIA BUILDING CODES: CBC, CMC, CPC, CFC & CEC, CRC.
- 2022 CA GREEN BUILDING STANDARDS CODE
- COUNTY SACRAMENTO MUNICIPAL CODE
- ALL LOCAL ORDINANCES

### VICINITY MAP



### SHEET

### INDEX

A-1	SITE PLAN, SUMMARY, NOTES, AREA, AND ROOF PLANS
A-2	EXISTING PLANS
A-3	PROPOSAL FLOOR AND ELECTRIC PLAN
A-4	SECTION PLANS
A-5	ELEVATION PLANS
A-6	ELEVATION PLANS
A-7	FOUNDATION & DETAILS
A-8	ROOF PLAN & DETAILS
A-9	T-24 ENERGY REPORT
A-10	CG-1 CAL GREEN MANDATORY
A-11	CG-2 CAL GREEN MANDATORY
A-12	LOW - RISE - MANDATORY- MEASURES- SUMMARY
A-13	FASTENING SCHEDULE PER CRC TABLE R602.3 (1)

### NOTES

- Please note that a Building Permit cannot be issued until all clearances by all reviewing departments (listed above) have been approved on the project. Check the status of your permit by visiting [www.sipermits.org](http://www.sipermits.org) and contact the individual departments directly with any questions.
- Revised plans, when required, must be clouded with delta number with a revision mark at each location where revision has occurred and be noted that additional comments may be triggered once revised plan are reviewed.
- When comments cite a section of code and require a revision, correction or amendment to plans, required information shall be specifically & directly provided on plans. Generic references to code section(s) is not acceptable.

BAJ  
GRAPHIC DESIGN

9743 WHITE PINE WAY, ELK GROVE, CA 95624  
Email: [helennguyen3689@gmail.com](mailto:helennguyen3689@gmail.com)  
Tell: (916) 526-5881 & (408) 876-8402

Date: AUGUST 2024

Scale: AS SHOWN

Drawn: LUYEN HONG NGUYEN

Signed: *Thuy*

STAMPED FROM CITY

JOB  
10/07/2024

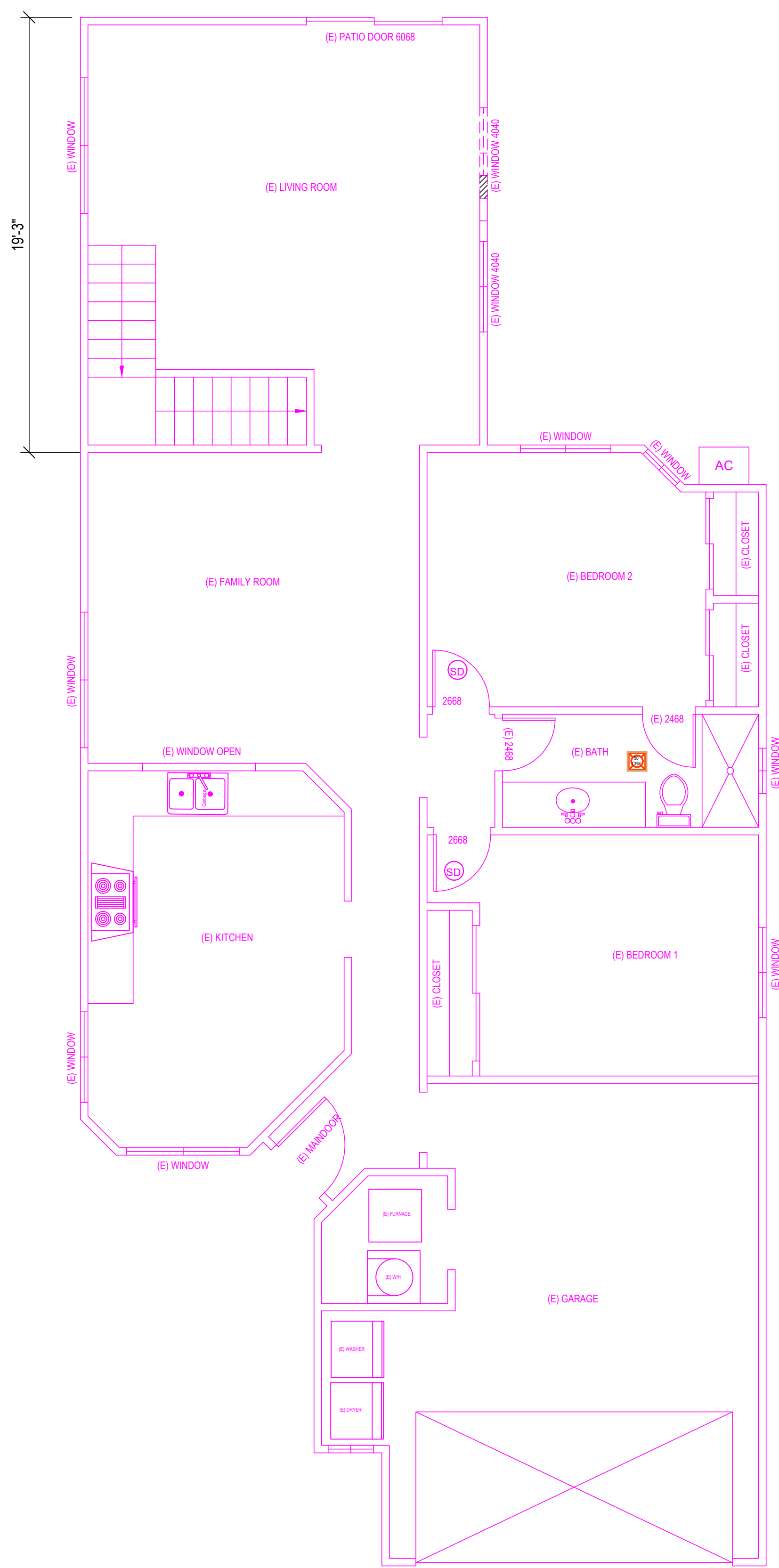
PLAN REVIEW APPROVAL  
APPROVED  
By Tony Nguyen at 9:53 am, Oct 07, 2024  
RESIDENTIAL  
STRUCTURAL

PROJECT DATA - SITE PLAN  
6324 STACY AVE, SACRAMENTO CA, 95823  
THUY NGUYEN'S RESIDENCE  
TELL: (916) 239-8086

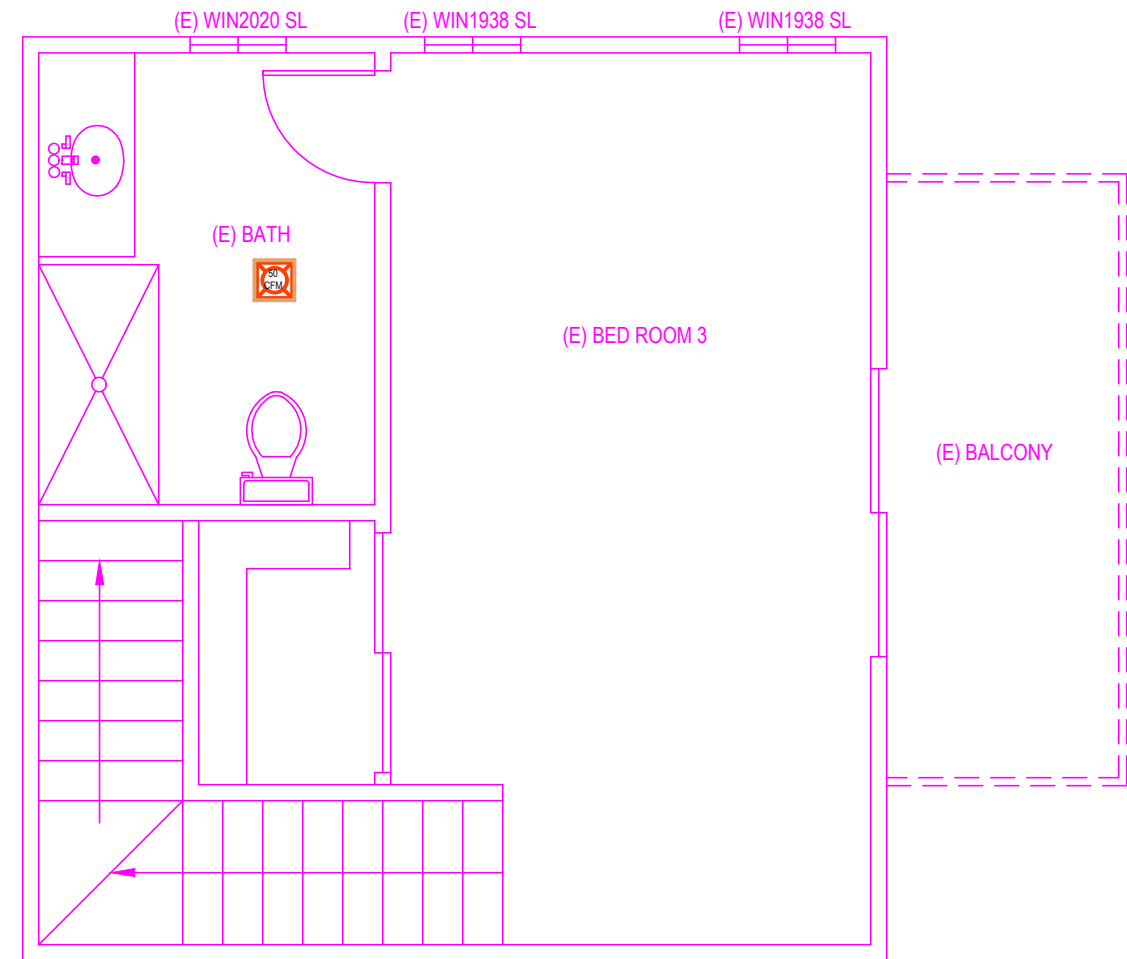
REVISION	DATE	BY
	09-23-2024	HL
	09-30-2024	HL

SHEET NO:

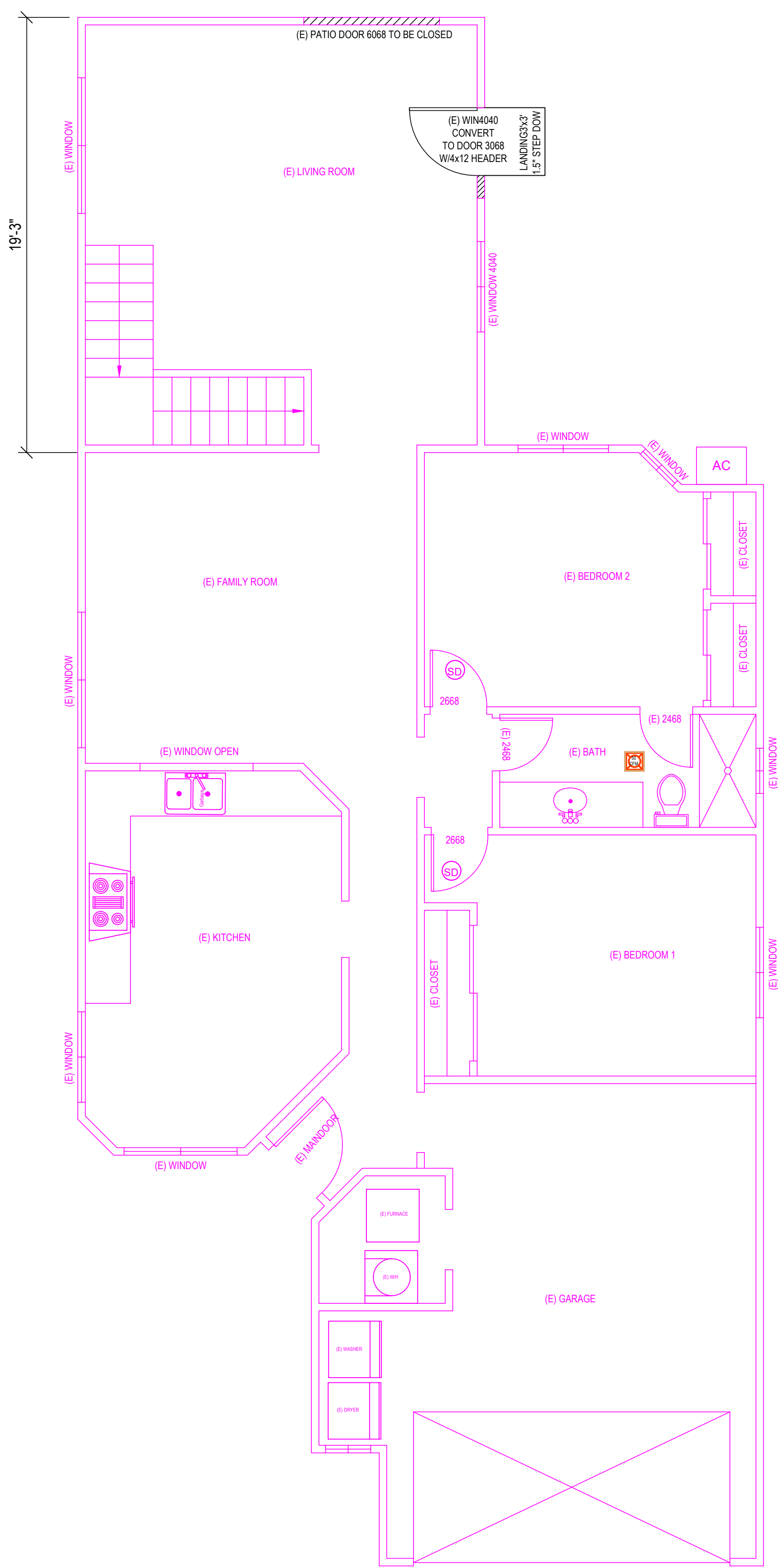
A-1



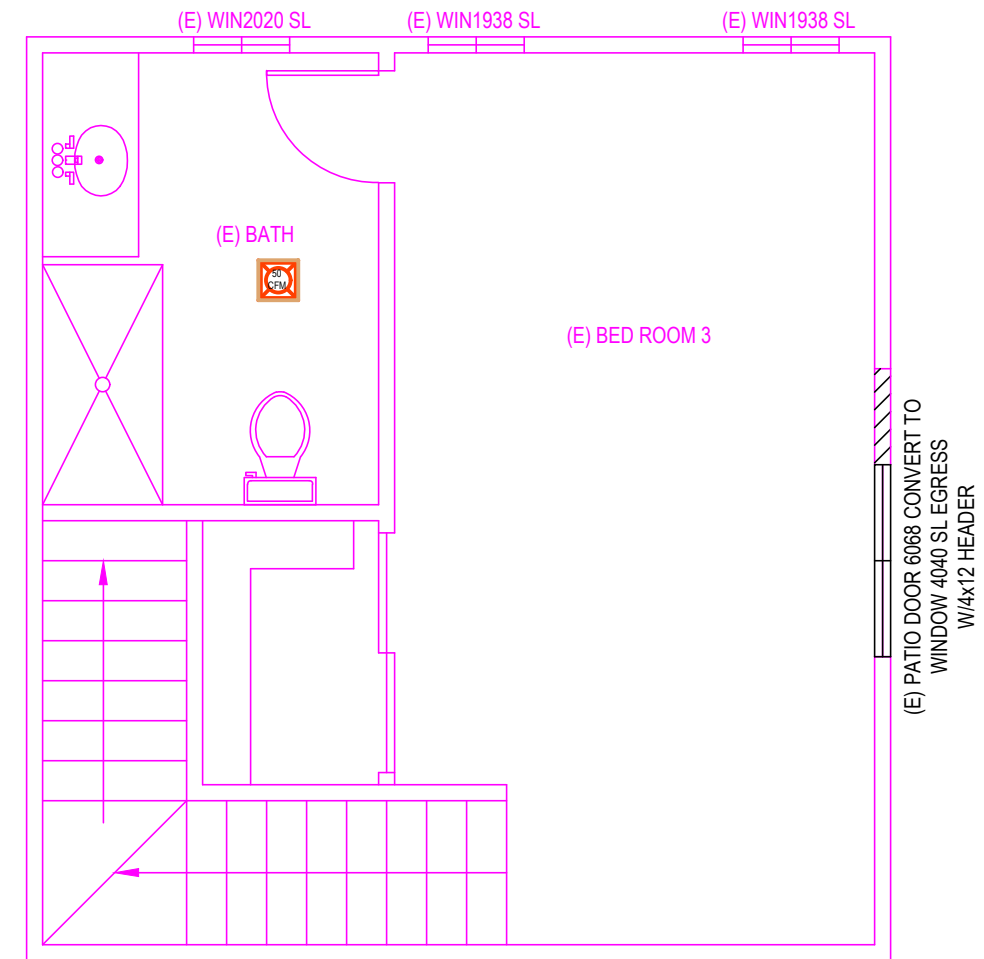
EXISTING FIRST FLOOR  
SCALE: 1 / 4" = 1'-0"



EXISTING SECOND FLOOR  
SCALE: 1 / 4" = 1'-0"



(E) FIRST FLOOR WIN4040 CONVERT TO DOOR 3068  
SCALE: 1 / 4" = 1'-0"



(E) SECOND FLOOR PATIO DOOR 6068  
CONVERT TO WINDOW 4040 SL EGRESS  
SCALE: 1 / 4" = 1'-0"

LEGEND	
NEW WALL	EXISTING WALL TO REMAIN.
EXISTING WALL TO BE REMOVE	EXISTING OPENING TO BE ENCLOSED
EXISTING WINDOW TO REMAIN	EXISTING WINDOW TO BE REMOVED
EXISTING DOORS TO REMAIN	



BAJ  
GRAPHIC DESIGN

9743 WHITE PINE WAY, ELK GROVE, CA 95624  
Email: helennguyen3689@gmail.com  
Tell: (916) 526-5881 & (408) 876-8402

Date: AUGUST 2024

Scale: AS SHOWN

Drawn: LUYEN HONG NGUYEN

Signed: *Thuy*

STAMPED FROM CITY

JOB  
10/07/2024

EXISTING PLAN  
THUY NGUYEN'S RESIDENCE  
6322 STACY AVE,  
SACRAMENTO CA, 95823

REVISION	DATE	BY

SHEET NO:

A-2


FLOOR PLAN NOTES:

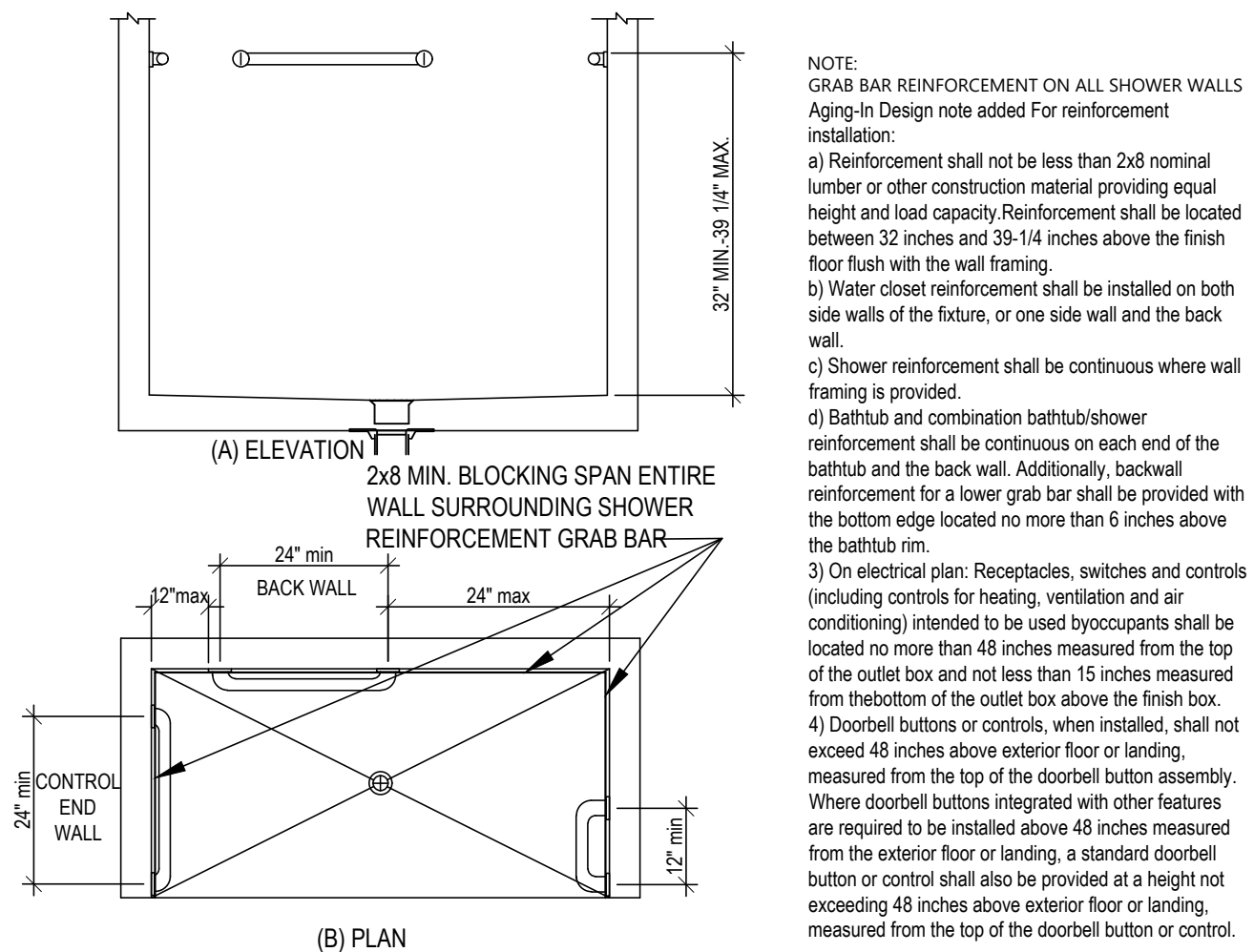
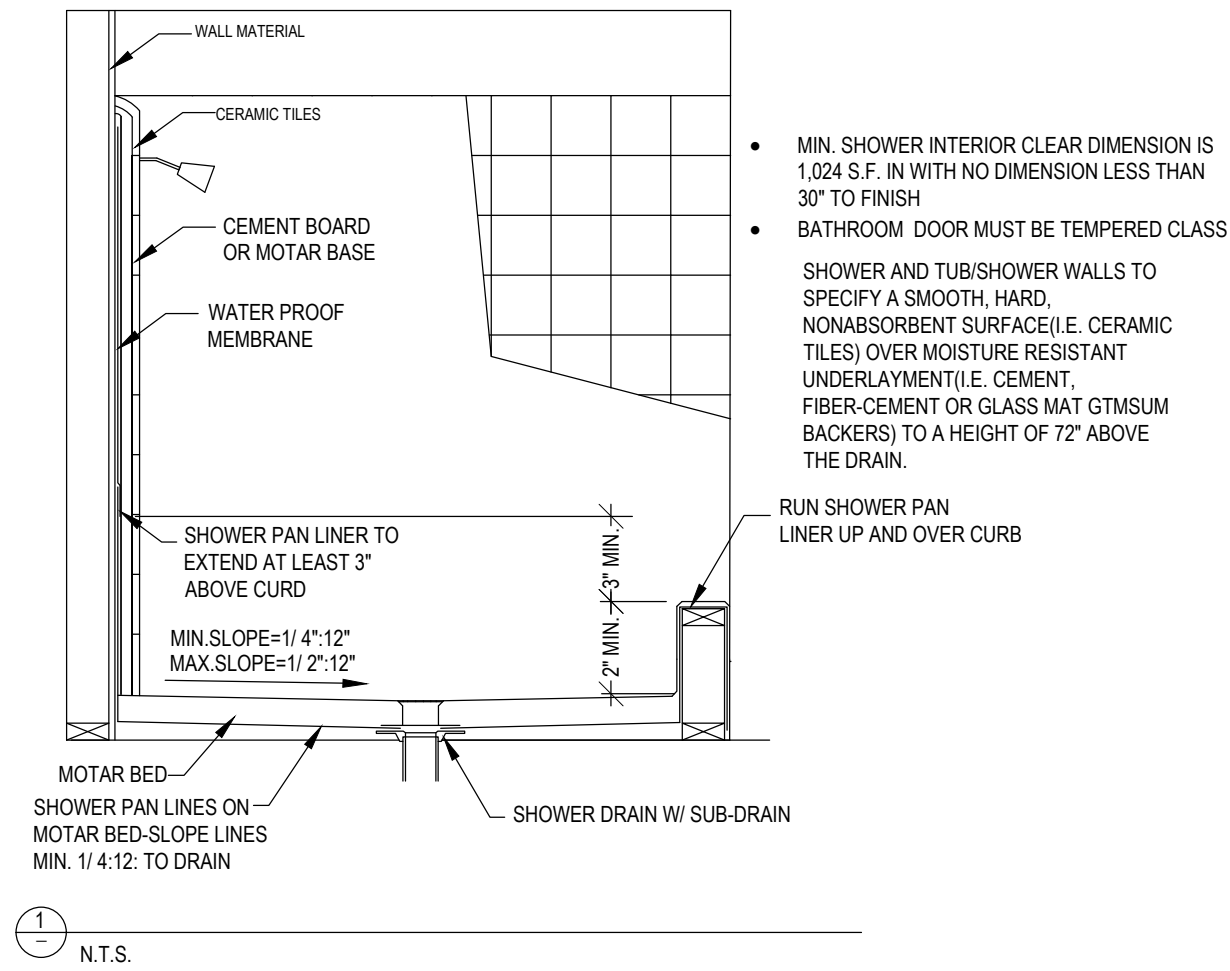
- ELECTRICAL NOTES:

- |                           |                        |
|---------------------------|------------------------|
| LAMP POWER RATING:        | MINIMUM LAMP EFFICACY: |
| 15 watts or less          | 40 lumens per watt     |
| over 15 watts to 40 watts | 50 lumens per watt     |
| over 40 watts             | 60 lumens per watt     |

NOTE:  
WATER-RESISTANT GYPSUM BACKING  
BOARD SHALL NOT BE USED WHERE THERE  
WILL BE DIRECT EXPOSURE TO WATER, OR  
IN AREAS SUBJECT TO CONTINUOUS HIGH  
HUMIDITY . R702.3.7.1

**Note:**  
on plan the fire-resistance-rated floor/ceiling and wall assemblies shall extend to and be tight against the exterior wall, and wall assemblies shall extend from the foundation to the underside of the roof sheathing or rated floor/ceiling assembly.

**NOTE:**  All 120-volt, single-phase, 15- and 20-ampere branch circuits supplying outlets or devices installed in all living spaces, including kitchen shall be protected by AFCI (Arc-fault circuit interrupter) and tamper resistant. CEC 210.12.



**NOTE:**  
BATHROOM REINFORCEMENT ON ALL SHOWER WALLS  
Adding Design note added for Reinforcement installation:

- a) Reinforcement shall not be less than 2x6 nominal reinforcement bars with 18" spacing. Reinforcement shall be equal height and load capacity. Reinforcement shall be located between 32 inches and 39-1/4 inches above the finished floor with the wall framing.
- b) Shower reinforcement shall be installed on both sides walls of the wall, or one side wall and the back wall.
- c) Shower reinforcement shall be continuous where wall framing is provided.
- d) Bathtub and combination bathtub/shower reinforcement shall be continuous on each end of the bathtub and the back wall. Additionally, backwall reinforcement shall be provided. Reinforcement shall be provided with the bottom edge located no more than 6 inches above the bathtub rim.
- e) On electrical panel. Receptacles, switches and controls shall be installed for lighting, ventilation and exhaust (conditioning) intended to be used by occupants shall be located no more than 48 inches measured from the top of the outlet box and not less than 15 inches measured from the bottom of the outlet box.
- f) Doorbell buttons or controls, when installed, shall not exceed 48 inches above exterior floor or landing, measured from the top of the doorbell button assembly.
- g) Doorbell buttons integrated with other features are required to be installed above 48 inches measured from the exterior floor or landing, a standard doorbell button or control shall also be provided at a height not exceeding 48 inches above exterior floor or landing, measured from the top of the doorbell button or control.

	CHIME
	PUSH BUTTON
	GAS RISER
	GAS STUB
	HORSE BID WITH BACKFLOW PREVENTION DEVICE
	HOSE BIBB SHUT OFF VALVE
	BELL / BUZZER
	ELECTRICAL DISCONNECT
	DECORATIVE ABOVE MIRROR BATHROOM LIGHT
	CIRCUIT BREAKER
	KEY
	MOTION SENSOR
	CHANDELIER
	FLOOR SUPPLY AIR REGISTER
	CEILING SUPPLY AIR REGISTER
	FLOURESCENTLIGHT FIXTURE (SURFACE) SEE PLAN

**LEGEND**

	NEW WALL
	EXISTING WALL TO REMAIN.
	EXISTING WALL TO BE REMOVED
	EXISTING OPENING TO BE ENCLOSED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED
	EXISTING DOORS TO REMAIN




# BAJ

## GRAPHIC DESIGN

Signed: *Thuy*

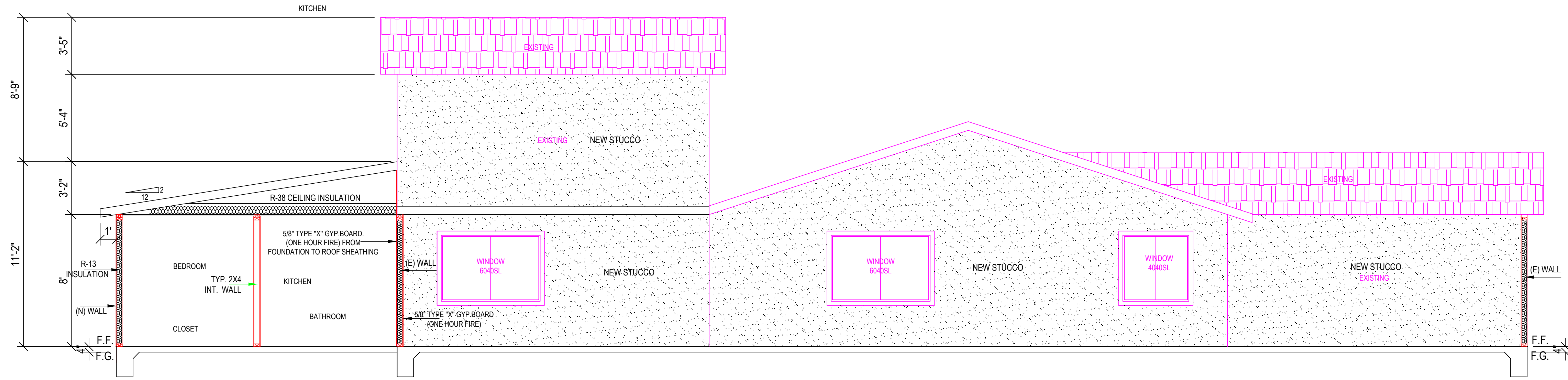
**JOB**  
**10/07/2024**

PROPOSAL FLOOR AND ELECTRIC  
THUY NGUYEN'S RESIDENCE  
6322 STACY AVE,  
SACRAMENTO CA, 95823

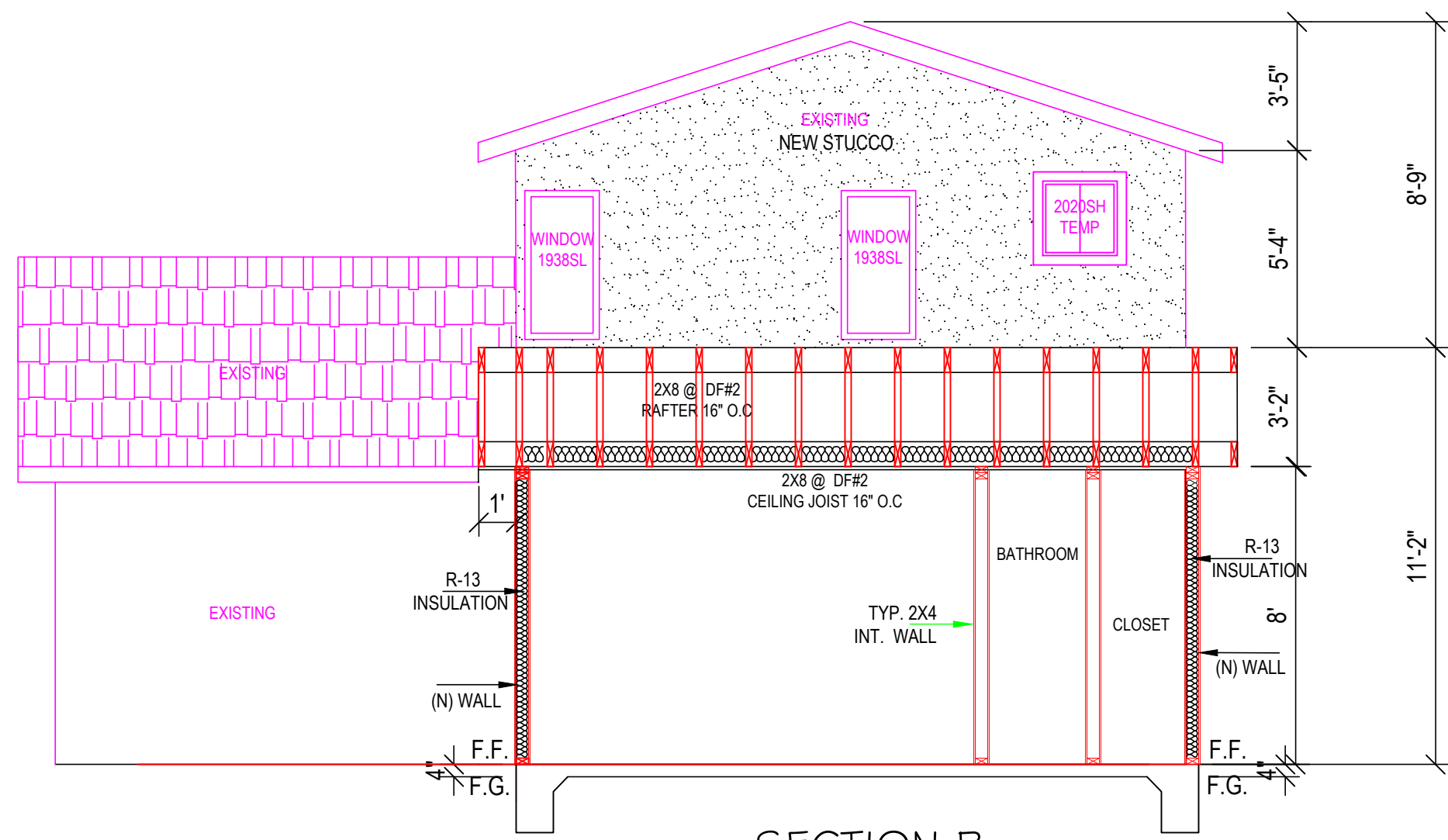
REVISION	DATE	BY
	09-23-2024	HL

SHEET NO:

# A-3



SECTION A  
SCALE: 1 / 4" = 1'-0"



SECTION B  
SCALE: 1 / 4" = 1'-0"



**BAJ**  
**GRAPHIC DESIGN**

9743 WHITE PINE WAY, ELK GROVE, CA 95624  
Email: helennguyen3689@gmail.com  
Tel: (916) 526-5881 & (408) 876-8402

Date: AUGUST 2024

Scale: AS SHOWN

Drawn: LUYEN HONG NGUYEN

Signed: *Thuy*

STAMPED FROM CITY

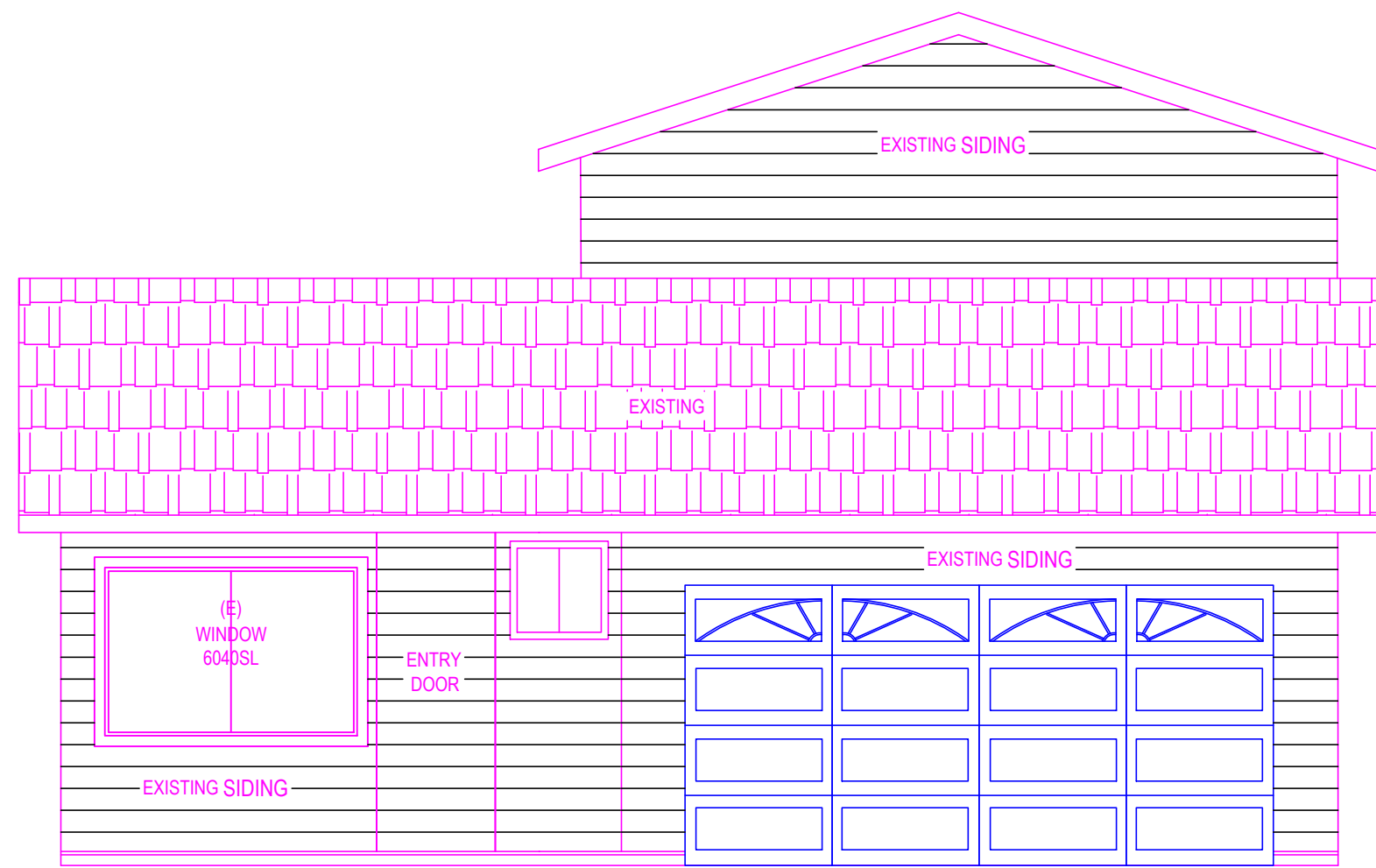
**JOB**  
**10/07/2024**

SECTION PLAN  
THUY NGUYEN'S RESIDENCE  
6322 STACY AVE,  
SACRAMENTO CA, 95823

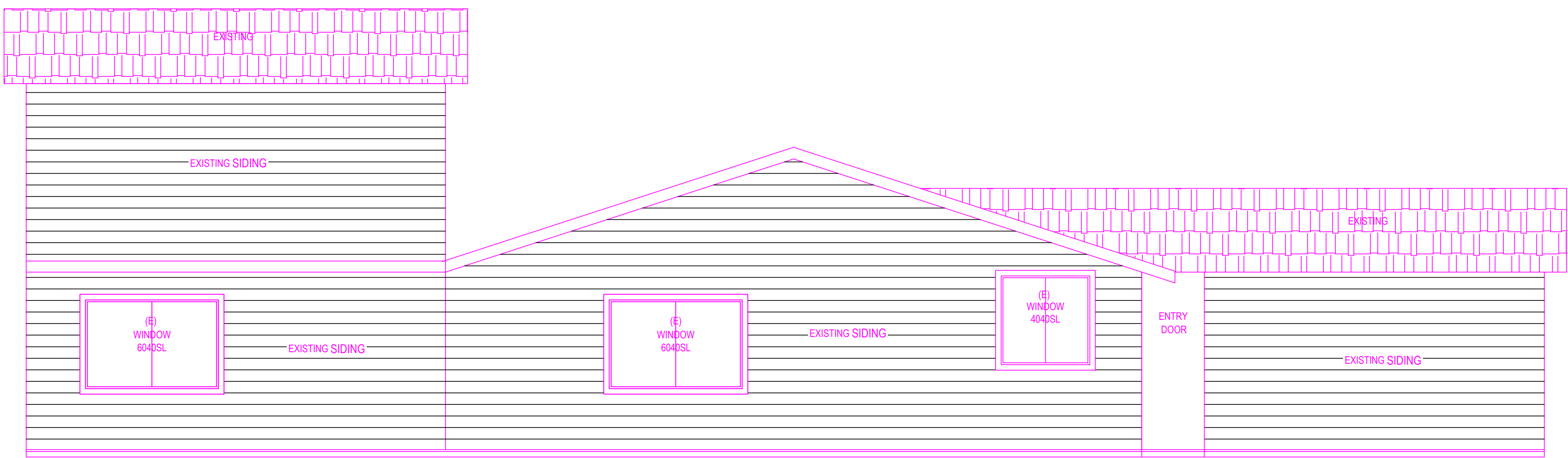
REVISION	DATE	BY

SHEET NO:

**A-4**



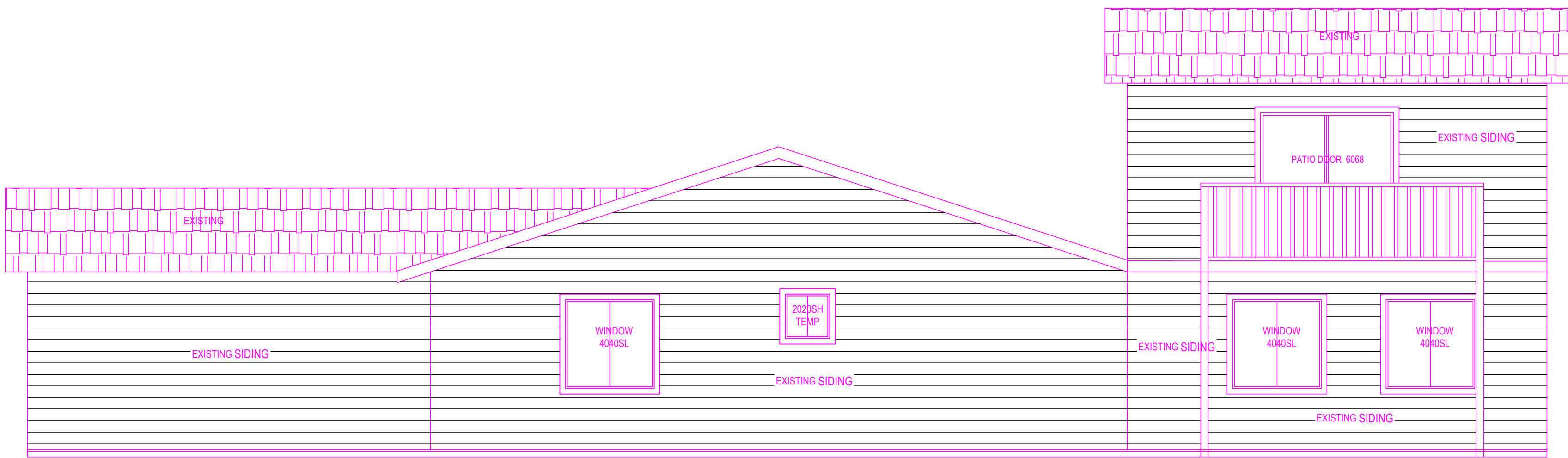
(E) FRONT ELEVATION  
SCALE: 1 / 4" = 1'-0"



(E) LEFT ELEVATION  
SCALE: 1 / 4" = 1'-0"



(E) REAR ELEVATION  
SCALE: 1 / 4" = 1'-0"



(E) RIGHT ELEVATION  
SCALE: 1 / 4" = 1'-0"



**BAJ**  
**GRAPHIC DESIGN**

9743 WHITE PINE WAY, ELK GROVE, CA 95624  
Email: helennguyen3689@gmail.com  
Tell: (916) 526-5881 & (408) 876-8402

Date: AUGUST 2024

Scale: AS SHOWN

Drawn: LUYEN HONG NGUYEN

Signed: *Thuy*

STAMPED FROM CITY

**JOB**  
**10/07/2024**

(E) ELEVATION PLAN  
THUY NGUYEN'S RESIDENCE  
6322 STACY AVE,  
SACRAMENTO CA, 95823

REVISION	DATE	BY

SHEET NO:

**A-5**

REQUIRED: ADU 306 S.F.  
306SF/150 = 2.1SFx144= 293 S.I.  
PROPOSED: 300 S.I.  
3 EYE BROWNS: 3x 24x12 = 3x100 = 300 S.I.  
TOTAL = 300 S.I.

REQUIRED: ADU 306 S.F.  
306SF/150 = 2.1SFx144= 293 S.I.  
PROPOSED: 300 S.I.  
3 EYE BROWNS: 3x 24x12 = 3x100 = 300 S.I.  
TOTAL = 300 S.I.

7 / 8" EXTERIOR CEMENT PLASTER (3 COATS) OVER  
METAL LATH, 2 LAYER GRADE "D" BUILDING  
PAPER W/PLYWOOD, 2x STUDS EXTERIOR WALL

7 / 8" EXTERIOR CEMENT PLASTER (3 COATS) OVER  
METAL LATH, 2 LAYER GRADE "D" BUILDING  
PAPER W/PLYWOOD, 2x STUDS EXTERIOR WALL



9743 WHITE PINE WAY, ELK GROVE, CA 95624  
Email: [helennguyen3689@gmail.com](mailto:helennguyen3689@gmail.com)  
Tell: (916) 526-5881 & (408) 876-8402

Scale: AS SHOWN

Signed: Thuy

STAMPED FROM CITY

JOB  
10/07/2024

(N) ELEVATION PLAN  
THUY NGUYEN'S RESIDENT  
6322 STACY AVE,  
SACRAMENTO CA, 95823

REVISION	DATE	BY
△	09-23-2024	HL

SHEET NO:


# A-6

7 / 8" EXTERIOR CEMENT PLASTER (3 COATS) OVER  
METAL LATH, 2 LAYER GRADE "D" BUILDING  
PAPER W/PLYWOOD, 2x STUDS EXTERIOR WALL

(N) FRONT ELEVATION  
SCALE: 1 / 4" = 1'-0"

(N) REAR ELEVATION  
SCALE: 1 / 4" = 1'-0"

26 GA. GI. SHEET METAL WEEP SCREED  
— MIN. 4" INCHES ABOVE GRADE, 2"  
INCHES ABOVE PAVED AREAS

**NOTE:**  For roof slopes of 2/12 with asphalt shingles  
For roof slopes from 2 units vertical in 12 units horizontal (2/12), up to 4 units vertical in 12 units horizontal (4/12), underlayment shall be two layers applied in the following manner: apply a 19-inch strip of underlayment felt parallel to and starting at the eaves. Starting at the eave, apply 36-inch-wide sheets of underlayment, overlapping successive sheets 19 inches. Distortions in the underlayment shall not interfere with the ability of the shingles to seal. End laps shall be 4 inches and shall be offset by 6 feet.

COMPOSITION SHINGLE (CLASS 'C' MIN.)  
w /1/2" CDX OR OSB PLYWOOD AND  
RADIANT BARRIER PAPER OVER TYP. #30  
FELT (COLOR MATCH WITH EXISTING

7 / 8" EXTERIOR CEMENT PLASTER (3 COATS) OVER  
METAL LATH, 2 LAYER GRADE "D" BUILDING  
PAPER W/PLYWOOD, 2x STUDS EXTERIOR WALL

7 / 8" EXTERIOR CEMENT PLASTER (3 COATS) OVER  
METAL LATH, 2 LAYER GRADE "D" BUILDING  
PAPER W/PLYWOOD, 2x STUDS EXTERIOR WALL

(N) LEFT ELEVATION  
SCALE: 1 / 4" = 1'-0"

26 GA. GI. SHEET METAL WEEP SCREED  
— MIN. 4" INCHES ABOVE GRADE, 2"  
INCHES ABOVE PAVED AREAS

7 / 8" EXTERIOR CEMENT PLASTER (3 COATS) OVER  
METAL LATH, 2 LAYER GRADE "D" BUILDING  
PAPER W/PLYWOOD, 2x STUDS EXTERIOR WALL

COMPOSITION SHINGLE (CLASS 'C' MIN.)  
w/ 1/2" CDX OR OSB PLYWOOD AND  
RADIANT BARRIER PAPER OVER TYP. #30  
FELT (COLOR MATCH WITH EXISTING

**NOTE:**

For roof slopes of 2/12 with asphalt shingles

For roof slopes from 2 units vertical in 12 units horizontal (2:12), up to 4 units vertical in 12 units horizontal (4:12), underlayment shall be two layers applied in the following manner: apply a 19-inch strip of underlayment felt parallel to and starting at the eaves. Starting at the eave, apply 36-inch-wide sheets of underlayment, overlapping successive sheets 19 inches. Distortions in the underlayment shall not interfere with the ability of the shingles to seal. End laps shall be 4 inches and shall be offset by 6 feet.

7 / 8" EXTERIOR CEMENT PLASTER (3 COATS) OVER  
METAL LATH, 2 LAYER GRADE "D" BUILDING  
PAPER W/PLYWOOD, 2x STUDS EXTERIOR WALL

(N) RIGHT ELEVATION  
SCALE: 1 / 4" = 1'-0"

26 GA. GI. SHEET METAL WEEP SCREED  
— MIN. 4" INCHES ABOVE GRADE, 2"  
INCHES ABOVE PAVED AREAS