

KEVIN NGUYEN'S RESIDENCE

1094 SADDLEWOOD DRIVE, SAN JOSE, CA 95121

GENERAL NOTES

- THE FOLLOWING SPECIFICATION SHALL CONFORM TO THE CURRENT APPLICABLE CODES AND ANY OTHER AGENCY ORDINANCES WHICH ARE IN FORCE AT THE TIME OF THIS PROJECT.
- THE FOLLOWING NOTES AND CONDITIONS ARE APPLICABLE TO THE PROJECT IN ITS ENTIRETY. ALL CONTRACTORS PERFORMING WORK ON THE PROJECT ASSUME RESPONSIBILITY FOR COMPLIANCE WITH THE REQUIREMENTS AND CONDITIONS STATED.
- EXAMINE THE SITE AND PORTIONS THEREOF AFFECTED BY THE PROPOSED WORK. COMPARE IT WITH THE DRAWINGS AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. ASCERTAIN AND CHECK LOCATIONS OF EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT WORK. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA EXPENSE DUE TO FAILURE OR NEGLECT TO MAKE SUCH EXAMINATIONS. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH WORK.
- PROVIDE TO I-MARK DESIGN AND OWNER WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK.
- OWNER SHALL PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, CERTIFICATES, AND FEES.
- PROTECT NEW AND/OR EXISTING MATERIALS AND FINISHES SUBJECT TO DAMAGE DURING CONSTRUCTION, DEMOLITION, DUST, WATER, ETC. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSES.
- THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH WORK SHALL BE FURNISHED, INSTALLED, AND CONNECTED COMPLETE WHERE SO REQUIRED, UNLESS OTHERWISE NOTED.
- SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES TO THE DESIGNER AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS OF THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE INTENT IN WHICH THEY WERE DRAWN.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION, AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF APPROVED COMPLETION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS, PRIOR TO STARTING ANY FIELD WORK.
- ANY DEVIATION CAUSED BY THE FIELD CONDITIONS, OR ANY CONDITIONS DIFFERENT FROM THE INDICATED ON PLANS SHALL BE BROUGHT TO THE OWNER ATTENTION. ANY DISCREPANCY NOT REPORTED TO THE DESIGNER WILL ABSOLVE THE DESIGNER FROM ANY LIABILITY.
- WRITTEN DIMENSIONS SHALL SUPERSEDE SCALED DRAWINGS.
- TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS ARE PROVIDED. DIMENSIONS SHOWN ON PLANS OR DETAILS TAKE PRECEDENCE OVER SCALES SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL WORK IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
- THESE GENERAL NOTES SHALL PERTAIN TO THIS PROJECT AS APPLICABLE. SEE WORKING DRAWINGS FOR PERTINENT ELEMENTS RELATING TO THESE GENERAL NOTES. ALL WRITTEN DOCUMENTS REFERRED TO HEREWITH GOVERNING THE CONSTRUCTION OF THIS PROJECT SHALL BE CURRENT EDITION TO SAID DOCUMENTS AS OF THE DATE OF BUILDING PERMIT APPLICATION FOR THIS PROJECT.

WATER SUPPLY FIXTURE UNITS FOR (E) HOME AND ADU

INDIVIDUAL FIXTURES	NUMBER	PIPE SIZE	NUMBER OF UNITS	TOTAL
CLOTHES WASHER	2	1/2 INCH	4.0	8
DISHWASHER, DOMESTIC	1	1/2 INCH	1.5	1.5
HOSE BIB, EACH ADDITIONAL	2	1/2 INCH	2.5	5
KITCHEN SINK, DOMESTIC	1	1/2 INCH	1.0	1
LAUNDRY SINK	2	1/2 INCH	1.5	3
LAVATORY (WASH BASIN)	4	1/2 INCH	1.0	4
SHOWER (PER HEAD)	4	1/2 INCH	2.0	8
WATER CLOSET	4	1/2 INCH	2.5	10

TOTAL FIXTURE UNITS

42

BUILDING SUPPLY LINES

PRESSURE
45-60 PSI
>60 PSI
METER SERVICE LINE: 1 INCH

PIPE LENGHT

150 FT
150 FT

PIPE SIZE

1-1/4 INCHES
1-1/4 INCHES

PROJECT DATA

OWNER: KEVIN NGUYEN
EXISTING USE: SINGLE FAMILY RESIDENCE
LOCATION: 1094 SADDLEWOOD DRIVE, SAN JOSE, CA 95121
APN: 499-20-041
ZONING: R-1-8
LOT GROSS SIZE: 5,150 S.F.
OCCUPANCY GROUP: R-3U
TYPE OF CONSTRUCTION: V-B
FIRE SPRINKLER: NONE
YEAR BUILT: 1977
ALLOWABLE FLOOR AREA: 2,318 S.F.
LOT AVERAGE SLOPE: (FLAT)
FLOOR AREA: EXISTING PROPOSAL TOTAL
DWELLING: 1,178 S.F. 710 S.F. 1,888 S.F.
GARAGE: 463 S.F. 463 S.F.
TOTAL FOOTPRINT: 1,888 S.F.
FAR: 37.0 %

SCOPE OF WORK

- ATTACHED ADU IN THE BACK 710 S.F.
(INCLUDING: 2 BEDROOMS, 1 LIVING ROOM, 1 OFFICE, 2 BATHROOMS AND 1 KITCHEN)
- (E) ELECTRIC MAIN PANEL UPGRADE TO 200 AMP

HERS FEATURES:

- VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION (VERIFICATION DETAILS FROM VCHP STAFF REPORT, APPENDIX B, AND RAS)
- POINT OF USE
- NORTHWEST ENERGY EFFICIENCY ALLIANCE (INEA) RATED HEAT PUMP WATER HEATER, SPECIFIC BRAND/MODEL, OR EQUIVALENT, MUST BE INSTALLED

HERS VERIFICATIONS:

- QUALITY INSULATION INSTALLATION (QII)
- INDOOR AIR QUALITY VENTILATION
- KITCHEN RANGE HOOD
- VERIFIED SEER/SEER2
- VERIFIED REFRIGERANT CHARGE
- AIRFLOW IN HABITABLE ROOMS (SC3.1.4.1.7)
- VERIFIED HSP2
- VERIFIED HEAT PUMP RATED HEATING CAPACITY
- WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 FT² (SC3.4.5)
- DUCTLESS INDOOR UNITS LOCATED ENTIRELY IN CONDITIONED SPACE (SC3.1.4.1.8)

Fasteners for preservative-treated wood (CRC 317.3)

Fasteners, including nuts and washers, for preservative-treated wood shall be of hot-dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper. Staples shall be of stainless steel. Coating types and weights for connectors in contact with preservative-treated wood shall be in accordance with the connector manufacturer's recommendations. In the absence of manufacturer's recommendations, not less than ASTM A653 type G185 zinc-coated galvanized steel, or equivalent, shall be used.

ITEMS RELATED TO PLUMBING, MECHANICAL AND ELECTRICAL TRADES HAVE NOT BEEN REVIEWED. VERIFICATION OF CODE COMPLIANCE FOR THESE ITEMS IS TO BE DONE AT THE SITE BY THE CITY'S FIELD INSPECTION STAFF. PLEASE CALL (408) 535-3555 FOR REFERRAL TO SPECIALTY TRADE SUPERVISORS. IF YOU HAVE QUESTIONS OR WOULD LIKE TO SCHEDULE A SITE VISIT.

APPLICABLE CODES

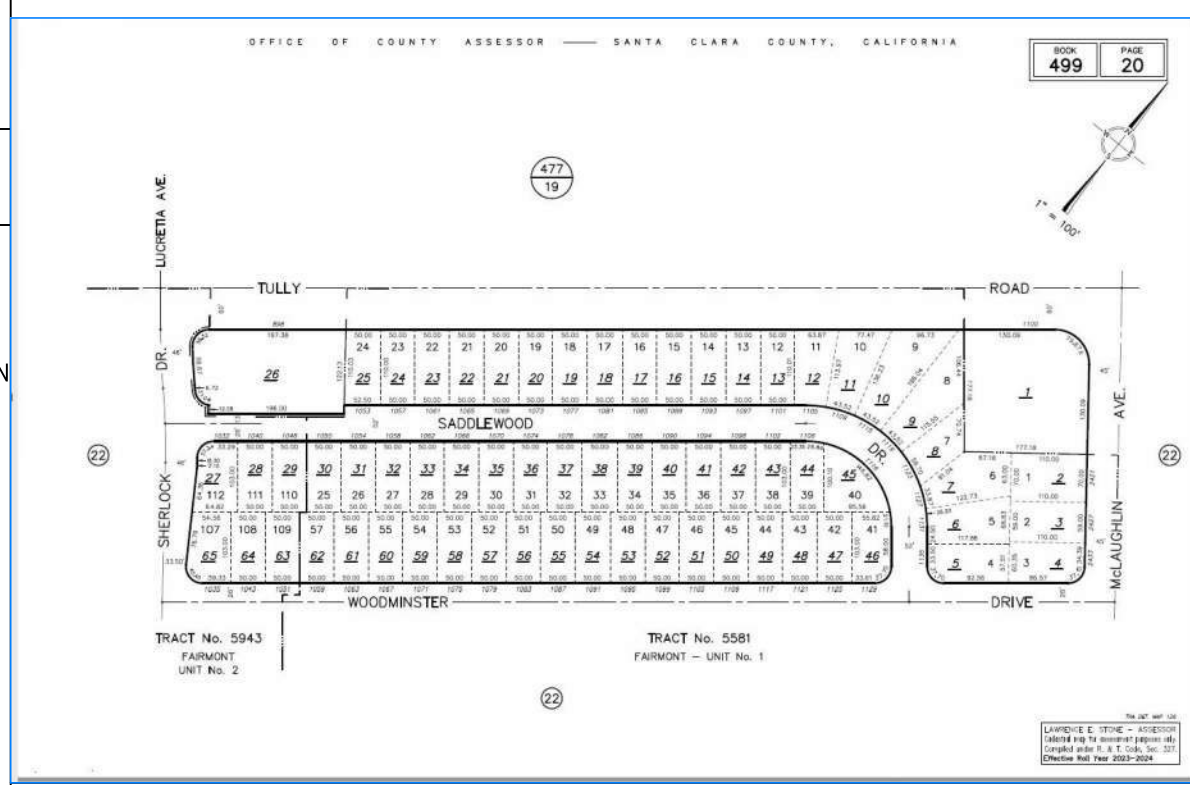
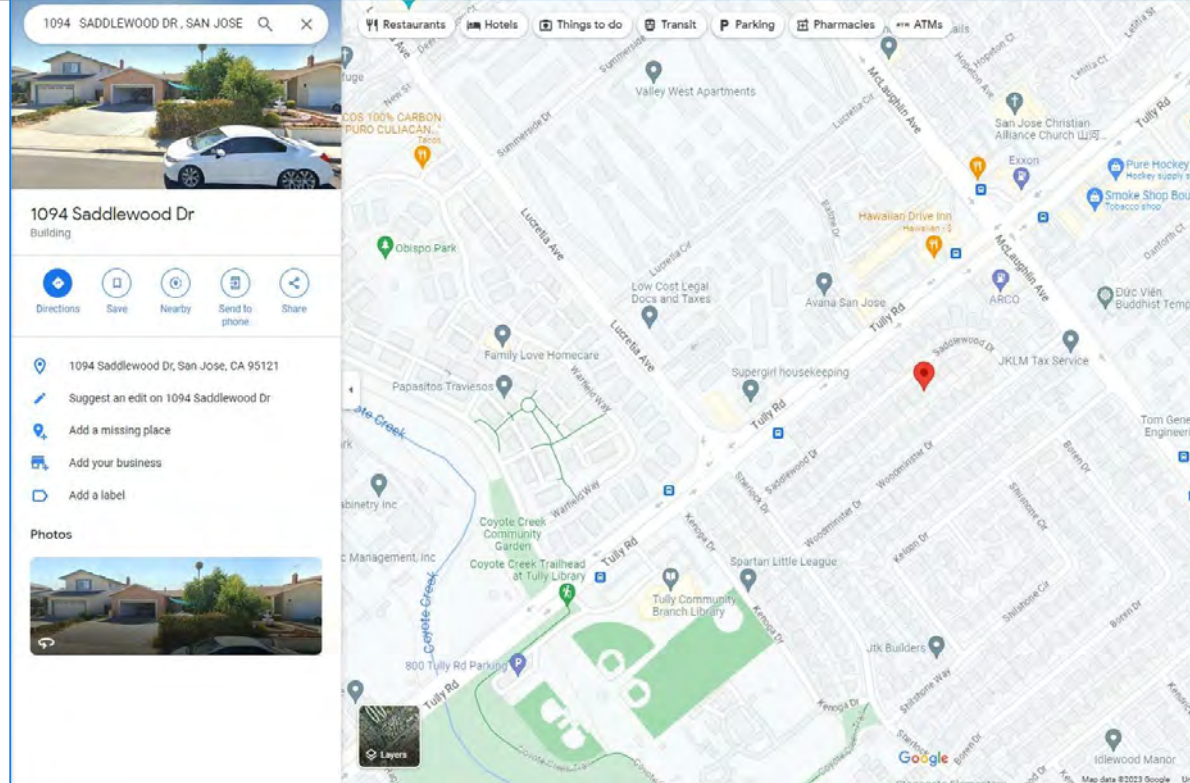
CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
-2022 CALIFORNIA BUILDING CODES: CBC, CMC, CPC, CFC & CEC, CRC,
-2022 CA ENERGY CODE
-CITY OF SAN JOSE MUNICIPAL CODE
-ALL LOCAL ORDINANCES

SMOKE ALARMS – CRC 314
INSTALL SMOKE ALARMS IN EACH SLEEPING ROOM; OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS; AND ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS

CARBON MONOXIDE ALARMS – CRC 315
INSTALL CO ALARMS OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS; AND ON EVERY LEVEL OF THE DWELLING UNIT, INCLUDING BASEMENTS

VICINITY MAP



SHEET IN DEX

A-1	SITE PLAN, SUMMARY, NOTES, AREA A-2
A-2	PROPOSAL FLOOR AND ELECTRIC PLAN
A-3	ELEVATIONS PLANS
S0	GENERAL STRUCTURAL NOTES
S1	FOUNDATION & DETAILS
S2	CEILING FRAMING PLAN & DETAILS
S3	ROOF FRAMING PLAN
S4	ROOF DETAILS
	STRUCTURAL CALCULATION
A-6	T-24 ENERGY REPORT
A-7	CG-1 CAL GREEN MANDATORY
A-8	CG-2 CAL GREEN MANDATORY
A-9	PROFESSIONAL LAND SURVEYOR
A-10	LOW - RISE - MANDATORY- MEASURES- SUMMARY
A-11	FASTENING SCHEDULE PER CRC TABLE R602.3 (1)
A-12	DETAILS ADDITIONAL

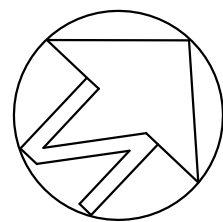
CITY OF SAN JOSE BUILDING DIVISION PROJECT INFORMATION

Address: 1094 SADDLEWOOD DRIVE UNIT 2

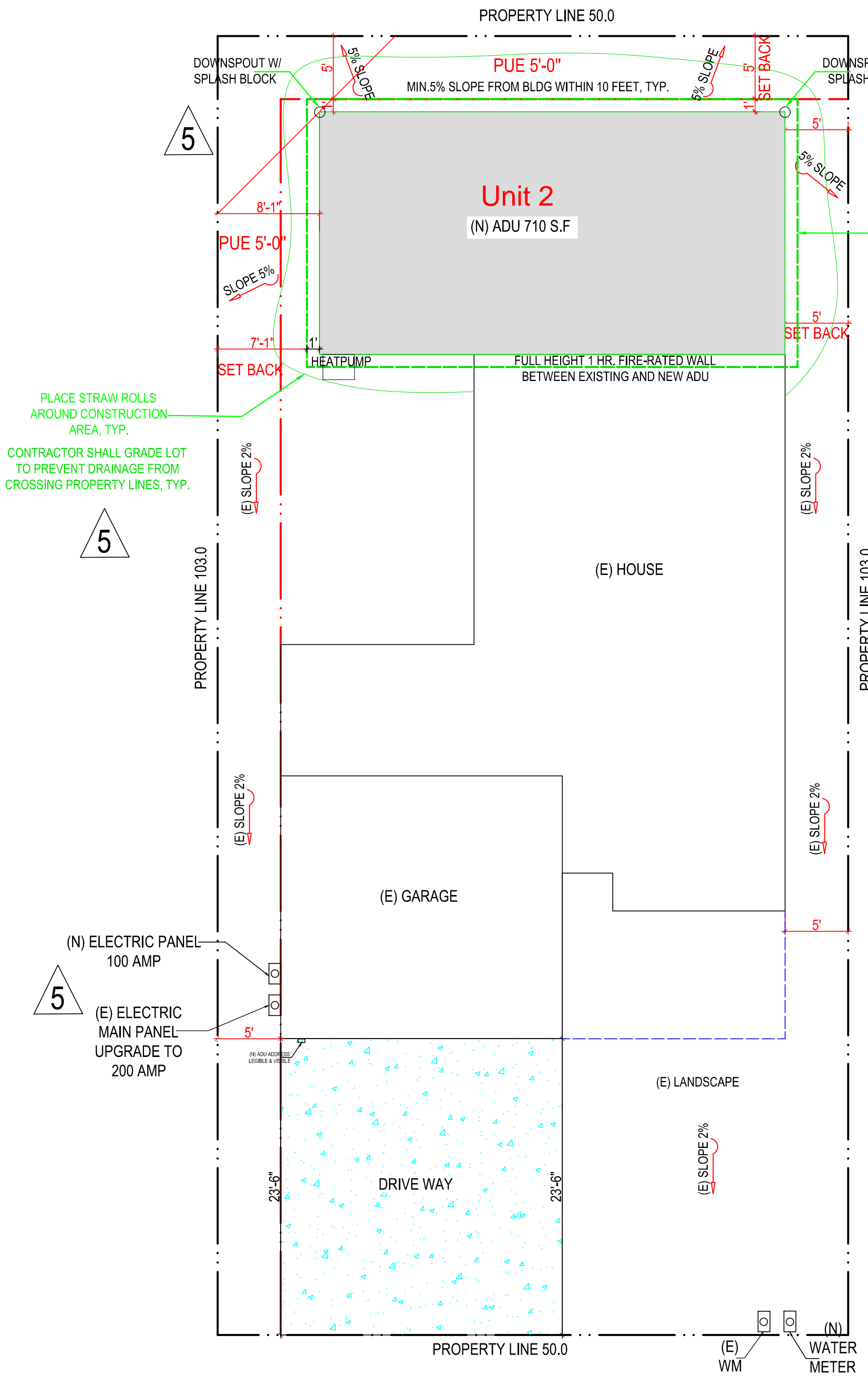
CODE EDITIONS: CBC, CRC, CPC, CMC, CEC, CGC, CEC 2022
OCCUPANCY GROUP(S): R-3U
TYPE OF CONSTRUCTION: V-B

NOTES: REVIEWED W/ COMMENTS. SEE PLANS.

BEPM #23-080132



SITE PLAN - SCALE: 1 / 8" = 1'-0"



FIRE NOTE:

PREMISES IDENTIFICATION - THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN POSITION THAT IS READILY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THAT THIS ADDRESS SIGN SHOULD BE MINIMUM 4" HIGH WITH 1/2" STRIKE. IT SHALL BE DOUBLE CHECKED DURING FIRE INSPECTION DURING THE COURSE OF CONSTRUCTION.

Reviewed for Code Compliance
City of San Jose, Building Division
☒ Building ☐ Electrical
☐ Plumbing ☐ Mechanical
Monica Liang, R.A. (408) 535-7874
No. 23-080132 Date: 01/22/2024

PROJECT DATA - SITE PLAN
KEVIN NGUYEN'S RESIDENCE
(408) 912-6234 & KEVIN4723@YAHOO.COM

REVISION	BY
△ 09-19-2023	HL
△ 11-16-2023	HL
△ 01-02-2024	HL

SHEET NO:

A-1



Date: AUGUST 2023

Scale: AS SHOWN

Drawn: LUYEN HONG NGUYEN

Signed: *Theresa*

STAMP FROM THE CITY OF SAN JOSE

City of San Jose, Building Division

☒ Building ☐ Electrical

☐ Plumbing ☐ Mechanical

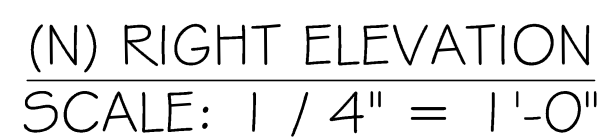
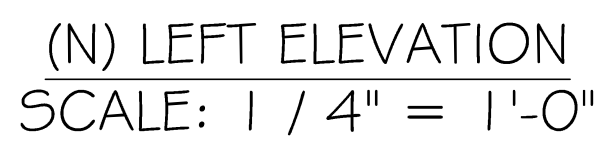
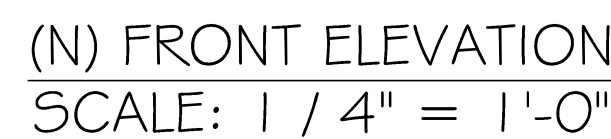
Monica Liang, R.A. (408) 535-7874

No. 23-080132 **Date:** 01/22/2024

ELEVATION PLAN
KEVIN NGUYEN'S RESIDENCE
1094 SADDLEWOOD DRIVE
SAN JOSE, CA 95121

SHEET NO:

A-3



ROOF VENTILATION:

REQUIRED: ADU 716 S.I.
745 SF/150 = 4.96 SF/x144= 716 S.I.
PROPOSED: 810 S.I.
1 GABLE VENT: 1x 14x18 = 1x110 = 110 S.I.
7 DORMER VENTS : 7x 24x12 = 7x100 = 700 S.I.
TOTAL = 810 S.I.