

APPROVED
City of Sacramento ~~Plan~~ Review
DEPARTMENT OF UTILITIES
michelle wright 05/09/2024

APPROVED
City of Sacramento Planning
DEVELOPMENT ENGINEER

By: **Julie Eising**
on May 09, 2024



STAMPED FROM CITY

City of SACRAMENTO
Community Development
ISSUED BY
Community Development Department
By: **RLLeach**
on May 14, 2024

[illegible]

OWNER:	PHOENIX BUI		
USE/USE TYPE:	SINGLE FAMILY RESIDENCE		
LOCATION:	5480 WARDWOOD WAY, SACRAMENTO, CA 95823		
APR#:	1180073004		
ZONING:	R1		
LOT GROSS SIZE:	8,712 S.F.		
OCCUPANCY GROUP:	R-3U		
TYPE OF CONSTRUCTION:	V-8		
FIRE SPRINKLER:	NONE		
YEAR BUILT:	1970		
ALLOWABLE FLOOR AREA:	3,920 S.F.		
LOT AVERAGE SLOPE:	(FLAT)		
FLOOR AREA:	EXISTING	PROPOSAL	TOTAL
OVERLAY:	1,400 S.F.		1,400 S.F.
CHANGE:	473 S.F.		473 S.F.
TOTAL FOOTPRINT:			1,748 S.F.
FAR:			19.02%

1. BATHROOM FLOOR IS IN ROOM NOW - CONSTRUCTION IS NOT ATTACHED IN THE BACK
2. NEW BATHROOM IS AT THE FRONT OF THE HOUSE

G. NAIL SCHEDULE

1. WOOD NAILERS SHALL BE CONNECTED WITH NAILING INDICATED IN TABLE 2304.1 OF 2009 OR NOTED ON GREATER SIZES AND NUMBER OF NAILS ARE SHOWN OR CIRCLED ON DRAWINGS. NAILS EXPOSED TO WEATHER SHALL BE GALVANIZED. NAILS SHALL BE CORROSIVE RESISTANT. NAILS FOR SPLICING SHALL BE PROVIDED FOR ALL JOINTS. NAILING SHALL TENDS TO SPLIT; SPLIT WOOD MEMBERS SHOULD BE REPLACED AND REMOVED FROM THE JOB PRIOR TO SPLIT. SHORT PLYWOOD NAILS FOR SHEAR TREATMENT SHALL BE 16D. USE SPLICING PLANS FOR SPLICING. NAIL, ROOF SHEATHING 8d 16G @ 6" C, @ SUPPORTED EDGES, 8d 16G 10" ON C. @ INTERMEDIATE SUPPORTS. FLOOR SHEATHING 8d 16G @ 6" C, @ AT INTERMEDIATE SUPPORTS. FLOORING 8d 16G @ 6" C, @ AT INTERMEDIATE SUPPORTS. PLYWOOD NAIL SHEATHING SHALL BE NAILED PER SHEAR WALL SCHEDULED AT SHEAR WALLS, AND AT A MINIMUM OF 8d 16G @ 6" C, @ ALL OTHER EDGES.

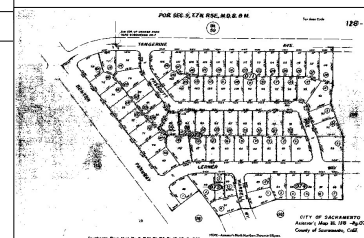
2. AT PRESSURE TREATED LUMBER USE HOT-DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

G. FIRE PROTECTION

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF THE IBC. CHAPTER 16 AND OTHER STANDARD DETAIL AND SPECIFICATION

CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 -2022 CALIFORNIA BUILDING CODES: CBC, CMC, CPC, CFC & CEC, CRC.
 -2022 CA ENERGY CODE
 -CITY OF CITY SACRAMENTO MUNICIPAL CODE
 -ALL LOCAL ORDINANCES

[illegible]

A-1	SITE PLAN, SUMMARY, NOTES, AREA A-2
A-2	PROPOSAL FLOOR AND ELECTRIC PLAN
A-3	ELEVATIONS PLANS
A-4	FOUNDATION AND DETAILS
A-5	ROOF FRAMING AND DETAILS
A-6	CG-1 CAL GREEN MANDATORY
A-7	CG-2 CAL GREEN MANDATORY

PLUMBING / MECHANICAL
ELECTRICAL
IS SUBJECT TO FIELD INSPECTION

APPROVED
City of Sacramento Planning Commission
Residential Building Division

By: *Justin Emery*
on May 09, 2024

a) Please note that a **Building Permit** cannot be issued until all **debarances** by all reviewing departments (listed above) have been approved on the project. Check the status of your permit by visiting www.spermis.org and contact the individual departments directly with any questions.

b) Revised plans, when required, must be clouded with delta number with a revision mark at each location where revision has occurred and be noted that additional comments may be triggered once revised plan are reviewed.

c) When comments cite a section of code and require a revision, correction or amendment to plans, required information shall be specifically & directly provided on plans. Generic references to code section(s) is not acceptable.

PROJECT DATA - SITE PLAN
PHOENIX BUI'S RESIDENCE
TELL: (408) 775-9302
EMAIL: PHOENIXPB_2007@YAHOO.COM

REVISION	DATE	BY
△	04-16-2024	HL
△	05-02-2024	HL

SHEET NO.

A-

23-034651

5460 WARDELL WAY

RES-2406143

FLOOR PLAN NOTES:

1. ALL CONCRETE TO BE POURED ON UNDISTURBED SOIL.
2. ALL LABMIR IN CONTACT WITH CONCRETE SHALL BE FOUNDATION GRADE RWD OR PRESSURE TREATED.
3. ALL LABMIR USED IN C-STRUCTION LOCATED NEARER THAN 1" TO EARTH SHALL BE 6" F.WD OR P.T.
4. PROVIDE SOLO BLOCKING FOR ALL PONY WALLS LESS THAN 14" HIGH
5. PROVIDE RESTOPS @ CONCEALED DRAFT OPENING, CEILING LINES, FLOOR LINES, FLURRED AREAS, AND CONCEALED COLUMNS, STAIR STRINGERS, SHOWERS, CHIMNEY ENCLOSURES, & MID-HIGHT OF WALLS OVER 10' IN HEIGHT.
6. VERIFY MIN. 22"X30" FLOOR ACCESS, ATTIC ACCESS WITH 30" CLEARING ABOVE OPENING.
7. DOORS, WINDOWS, & SHOWER DOORS WITHIN HAZARDOUS AREAS TO BE TEMPERED.
8. ALL POSTS, BEAMS & WALLS SUPPORTING THE FLOOR CEILING SHALL HAVE ONE HOUR FIRE PROTECTION.
9. ALL NEW WINDOWS AND GLASS SLIDING DOOR SHALL BE LOW-E DUAL GLAZED U-10.
10. MATERIAL, GRADE STAMPS WILL BE CHECKED ON FRAME INSPECTION.
11. ALL CONSTRUCTION SHALL COMPLY WITH THE 2022 EDITION OF THE CBC, CMAC, CPC, CEC, CCR AND CFC AND THE 2022 CALIFORNIA EMERGENCY CODE.
12. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE, APPROVED PLAN, 2) INTERIOR NON-STRUCTURAL WALL FINISHES, SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK FOR A NEW PLAN SHOWING CHANGES WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.
13. FIRE-RESISTING WITH NON-COMBUSTIBLE MATERIAL, SHALL BE PROVIDED IN OPENINGS ABOVE VENTS, PIPES, DUCTS, FIREPLACES AND SIMILAR OPENINGS PER CBC 708.2.1 (4).
14. PROVIDE SMOKE DETECTORS (HARDWIRED 110V W/BATT BACKUP) IN EVERY BEDROOMS, THE HALL WAY TO THE BEDROOM (BEFORE CARPENTRY OR MONY DETECTORS), THE HALL WAY TO THE SLEEPING AREA.
15. IN EACH NEW BEDROOM, THERE IS AT LEAST ONE WINDOW, FOR EMERGENCY ESCAPE OR RESCUE, REQUIRE OPENING OF MINIMUM NET CLEAR AREA 5.7 SQ. FT, HEIGHT 24", WIDTH 20", AND MAXIMUM FINISHED OPENING HEIGHT 47" ABOVE FINISH FLOOR.
16. NEW 3X12 MIN. CONCRETE LANDING AT ALL NEW EXTERIOR DOOR, LANDING SHALL NOT BE LOWER THAN 7-1/2" FROM FLOOR LEVEL.
17. BATHROOM SLIDING DOOR MUST BE TEMPERED GLASS.
18. ALL NEW BEDROOM MUST BE A/C DUCT.
19. PRESSURE OR THERMOSTATIC MIXING VALVE AT THE SHOWERS AND TUBS, WHICH LIMIT WATER TEMPERATURE TO 120 DEGREES F.
20. THE SHOWERS MUST HAVE INSIDE DIMENSION OF AT LEAST 30 INCHES. THE TOTAL FLOOR AREA OF A SHOWER MUST BE AT LEAST 1.034 SQUARE INCHES. OPENINGS TO SHOWERS MUST BE MIN. 24 INCHES WIDE. THE DOOR MUST BE TEMPERED GLASS.(SEE DETAILS)

ELECTRICAL NOTES:

MOTION SENSOR WITH INTEGRAL PHOTOCONTROL.

1. ALL HARDWIRED LIGHTING IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS MUST BE HIGH EFFICACY OR CONTROLLED BY A MANUAL-ON MOTION SENSOR.
2. ALL HARDWIRED LIGHTING IN OTHER ROOMS (HALLWAYS, DINING ROOMS, FAMILY ROOMS AND BEDROOMS) SHALL BE HIGH EFFICACY OR CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR OR A DIMMER SWITCH CONTROL IT.
3. ALL SWITCHES ON A MULTIPLE SWITCHED CIRCUIT SHALL BE CONTROLLED BY THE DIMMER SWITCH ON THAT CIRCUIT
4. ALL RECESSED FIXTURES SHALL BE LABELED AS BEING CERTIFIED TO HAVE A LUMENAGE RATING OF LESS THAN 24.75 T/50 CAL.
5. ALL HIGH EFFICACY FIXTURES AND NON-HIGH EFFICACY FIXTURES SHALL BE SWITCHED SEPARATELY
6. SMOKE DETECTOR SYSTEM SHALL BE HARD-WIRED, INTERCONNECTED TO SOUND SIMULTANEOUSLY & EQUIPPED WITH BATTERY BACK-UP.
7. MIN. 50% OF WATTAGE OF LIGHTS IN MOTION SHALL BE HIGH EFFICACY AND SHALL NOT BE SWITCHED SEPARATELY
8. LIGHTS MOUNTED TO EXTERIOR OF BUILDING SHALL BE HIGH EFFICACY OR ON A PHOTO CONTROL/SENSOR SENSOR COMBINATION

LAMP POWER RATING:	MINIMUM LAMP EFFICACY:
16 watts or less	40 lumens per watt
over 15 watts to 40 watts	50 lumens per watt
over 40 watts	80 lumens per watt

NOTES:

1. ALL HARDWIRED LIGHTING WITH A 150W OR GREATER WATTAGE SHALL BE DIRECT EXPOSURE TO WATER OR BE SUBJECT TO CONTROLLED EXPOSURE TO WATER.

2. ALL HARDWIRED LIGHTING SHALL BE LABELED AS BEING CERTIFIED TO HAVE A LUMENAGE RATING OF LESS THAN 24.75 T/50 CAL.

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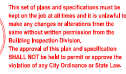
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57. ALL HARDWIRED LIGHTING SHALL BE LABELED AS BEING CERT



APPROVED
City of Sacramento Planning & Review
Residential Building Division

By: **Justin Emery**
on May 09, 2024

THE APPROVAL OF ALL
PLUMBING / MECHANICAL /
ELECTRICAL
IS SUBJECT TO FIELD INSPECTION

CEILING RECEPTACLE OUTLET
 DUPLEX RECEPTACLE, MTD @ 12" U.O.N.
 SINGLE OUTLET
 220V OUTLET
 WEATHERPROOF DUPLEX OUTLET W/GFI
 GFI DUPLEX OUTLET W/GROUND FAULT INTERRUPTER
 DUPLEX RECEPTACLE, MTD @ 12" U.O.N. SPIRE WITH HALF SW CONTROLLED
 SPECIAL PURPOSE
 FLOOR DUPLEX RECEPTACLE OUTLET
 CARBON MONOXIDE SMOKE DETECTOR W/BATTERY BACK UP
 CEILING LIGHT
 FLUORESCENT LIGHT
 RECESSED CANISTER
 FLOOR OUTLET (DBL)
 SWITCH
 3 WAY SWITCH
 4 WAY SWITCH
 DIMMER SWITCH
 TIMER SWITCH
 CEILING FAN
 FUEL GAS
 FAN TO OUTSIDE AIR
 CARBON MONOXIDE SMOKE DETECTOR W/BATTERY BACK UP
 INCANDESCENT LIGHT FIXTURE (CEILING)
 WEATHERPROOF LIGHT FIXTURE
 DISPOSAL
 RECESSED LIGHT FIXTURE
 FAN TO OUTSIDE AIR
 CHIME
 PUSH BUTTON
 GAS RISER
 GAS STUB
 HORSE BID WITH BACKFLOW PREVENTION DEVICE
 HOSE BIBB SHUT OFF VALVE
 BELL / BUZZER
 ELECTRICAL DISCONNECT
 DECORATIVE ABOVE MIRROR BATHROOM LIGHT
 CIRCUIT BREAKER
 KEY
 MOTION SENSOR
 CHANDELIER
 FLOOR SUPPLY AIR REGISTER
 CEILING SUPPLY AIR REGISTER
 FLUORESCENT LIGHT FIXTURE (SURFACE) SEE PLAN

LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN,
	EXISTING WALL TO BE REMOVED
	EXISTING OPENING TO BE ENCLOSED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE ENCLOSED
	EXISTING DOORS TO REMAIN

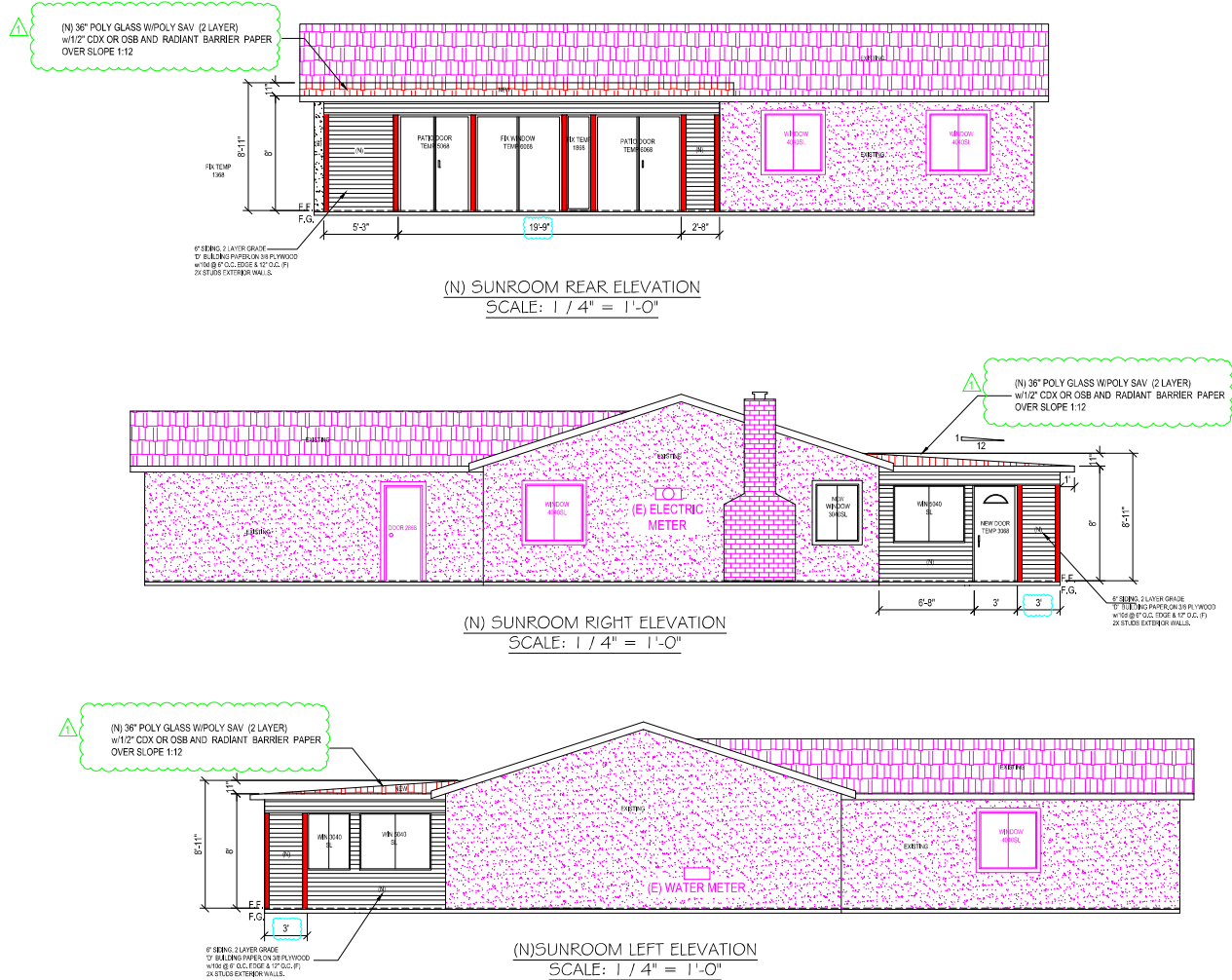


REVISION	DATE	BY
△	04-18-2024	HL
△	05-02-2024	HL

SHEET NO:

A-2

ROOF VENTILATION:
REQUIRED: SUN ROOM 300 S.F.
546 SQ. FT. = 221' 5" W x 24' 4" D
PROPOSED: 400 S.F.
4 CORNER VENTS 4x 24" (2 x 40 S.F.
TOTAL = 400 S.F.)



BAJ
GRAPHIC DESIGN
8743 WHITE PINE WAY, ELK GROVE, CA 95624
Email: helennguyen368@gmail.com
Tel: (916) 525-5881 & (408) 878-9422

Date: JANUARY 2024

Scale: AS SHOWN

Drawn: LUYEN HONG NGUYEN

Signed: *Thuy*

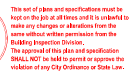
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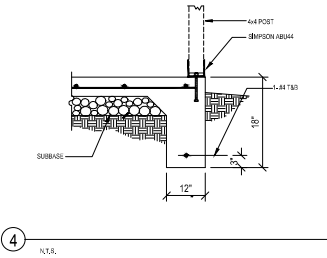
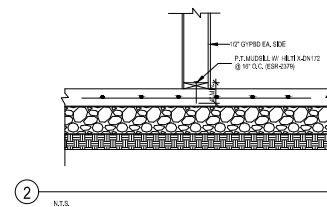
ELEVATION PLAN
PHOENIX BUI'S RESIDENCE
5460 WARDELL WAY,
SACRAMENTO, CA 95823

REVISION	DATE	BY
△	04-16-2024	HL
△	05-02-2024	HL

SHEET NO:
A-3



FOUNDATION PLAN
SCALE: 1 / 4" = 1'-0"



Date: JANUARY 2024

Scale: AS SHOWN

Drawn: LUYEN HONG NGUYEN

Signed: *Thuy*

STAMPED FROM CITY

City of SACRAMENTO
Community Development
By: **RLLeach**
on May 14, 2024

FOUNDATION PLANS & DETAILS
AND ROOF PLAN
PHOENIX BUI'S RESIDENCE
5460 WARDELL WAY,
SACRAMENTO, CA 95823

REVISION	DATE	BY
	04-16-2024	HL
	05-02-2024	HL

SHEET NO

A-4

Figure 1: Typical Floor Plan of a Single-Storey Building. The plan shows a rectangular building with a gabled roof section on the right. It includes various rooms, corridors, and structural elements like columns and beams. A detailed cross-section of a typical concrete slab is shown in the bottom left corner, with a table of dimensions and materials.

NOTE: THIS SET-OUT IS FOR TYPICAL CONCRETE AND SHALL BE APPLIED TO ALL CONCRETE SLABS, UNLESS OTHERWISE SPECIFIED.

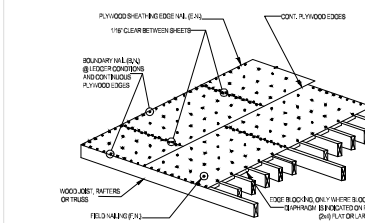
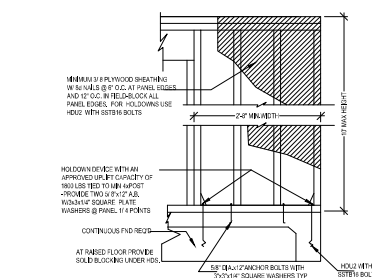
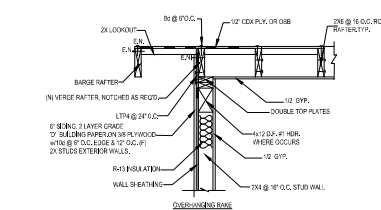
TABLE 1: TYPICAL CONCRETE SLAB DIMENSIONS AND MATERIALS

MAX. SPAN	HEAVY DUTY CONCRETE
3'-0"	4" x 4" OR (3) 24"
3'-0"	4" x 4"
3'-0"	4" x 4"

[illegible]

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

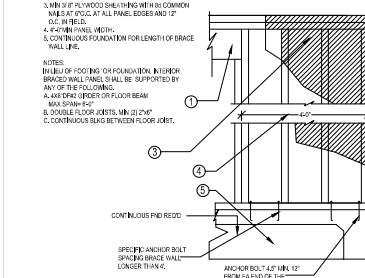


TYPICAL PLYWOOD LAYOUT



1. BEAM OR HEADER (WHERE OCCURS).
2. 5/8" DIA. x 2" ANCHOR BOLTS WITH 3/8"x1 1/2" SQUARE WASHERS TYP.
3. MIN 3/4" PLYWOOD SHEATHING WITH 8x COMMON NAIL AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN FIELD.
4. 4"x7" MIN PANEL WIDTH.
5. CONTINUOUS FOUNDATION FOR LENGTH OF BRAG WALL LINE.

NOTES:
IN LIEU OF FOOTING OR FOUNDATION, INTERIOR
BRACED WALL PANELS SHALL BE SUPPORTED BY
ANY OF THE FOLLOWING:
A. 4X8 DF#2 GIRDER OR FLOOR BEAM
MAX. SPAN= 8'-0"
B. DOUBLE FLOOR JOISTS, MIN (2) 2X6
C. CONTINUOUS BLKG BETWEEN FLOOR JOIST.



BRACE WALL DETAIL



9743 WHITE PINE WAY, ELK GROVE, CA 95624
Email: helennguyen3689@gmail.com
Tell: (916) 526-5881 & (408) 876-8402

Date: JANUARY 2024

Scale: AS SHOWN

Drawn: LUYEN HONG NGUYEN

Signed: Thany

STAMPED FROM CITY

ISSUED BY

By: **RLLeach**
on May 14, 2024

ROOF PLANS AND DETAILS
PHOENIX BUI'S RESIDENCE
5460 WARDELL WAY,
SACRAMENTO, CA 95823

REVISION	DATE	BY
	04-18-2024	HL
	05-02-2024	HL

SHEET NO.

A-5



This set of plans and specifications is to be used on the job or office and is to be used to make any changes or alterations from the plans without written permission from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



BAJ
GRAPHIC DESIGN

9743 WHITE PINE WAY, ELK GROVE, CA 95624
Email: helennguyen368@gmail.com
Tel: (916) 526-5981 & (408) 875-8402

Date: JANUARY 2024

Scale: AS SHOWN

Drawn: LYUENHONG NGUYEN

Signed: *Thuy*

STAMPED FROM CITY

SACRAMENTO
City of Sacramento
ISSUED BY
RLEach
on May 14, 2024

CG-1 CAL GREEN MANDATORY
PHOENIX BUI'S RESIDENCE
5460 WARDELL WAY,
SACRAMENTO, CA 95823

REVISION	DATE	BY

SHEET NO.

A-6

2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST SECTION A4.602 Effective January 1, 2023 HCD SHL 620C (New 01/23)						
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Tier 1	Tier 2	Prequalifies and Electives ¹	Enforcing Agency	Installer or Designer Third-Party
PLANNING AND DESIGN						
Site Selection						
A4.102.1 A site which complies with at least one of the following characteristics is selected:						
1. An infill site is selected.						
2. A greenfield site is selected.						
3. An EPA-recognized brownfield site is selected.						
A4.102.2 Facilitate community connectivity by one of the following methods:						
1. Locate project within a 1/4-mile true walking distance of at least 4 basic services.						
2. Locate project within 1/2-mile true walking distance of at least 7 basic services.						
3. Other methods increasing access to additional resources.						
Site Preservation						
A4.104.1 An individual with oversight responsibility for the project has participated in an educational program promoting environmentally friendly design or development and has provided training or instruction to appropriate entities.						
Deconstruction and Reuse of Existing Materials						
A4.106.1 Existing buildings are deconstructed for reuse or recycling of building materials. The proposed structure utilizes at least one of the following materials which can be easily reused:						
1. Light fixture						
2. Plumbing fixtures						
3. Doors and trim						
4. Masonry						
5. Electrical devices						
6. Appliances						
7. Foundations or portions of foundations						
Site Development						
A4.108.2.1 A plan is developed and implemented to manage storm water drainage during construction.						
A4.108.3 Construction plans shall indicate how site grading, or a drainage system will manage all surface water flows to keep water from entering buildings.						

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2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST SECTION A4.602 Effective January 1, 2023 HCD SHL 620C (New 01/23)						
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	Mandatory	Tier 1	Tier 2	Prequalifies and Electives ¹	Enforcing Agency	Installer or Designer Third-Party
4.106.4.1 Provide capability for electric vehicle charging for one- and two-family dwellings; townhouses with attached private garages; in accordance with Section 4.106.4.1.						
4.106.4.2 Provide capability for electric vehicle charging for multifamily dwellings and hotel/motels in accordance with Sections 4.106.4.2.1 or 4.106.4.2.2, as applicable.						
4.106.4.3 Provide capability for electric vehicle charging for existing parking lots or new parking lots for existing residential buildings in accordance with Section 4.106.4.3, as applicable.						
A4.106.1 Reserved.						
A4.106.2.1 Soil analysis is performed by a licensed design professional and the findings are included in the structural design of the building.						
A4.106.2.2 Soil disturbance and erosion are minimized by at least one of the following:						
1. Natural drainage patterns are evaluated, and erosion controls are implemented to minimize erosion during construction and after occupancy.						
2. Site access is accomplished by minimizing the amount of cut and fill needed to install access roads and driveways.						
3. Underground construction activities are coordinated to utilize the same trench, minimize the amount of time the disturbed soil is exposed, and the soil is replaced using accepted compaction methods.						
A4.106.2.3 Topsoil shall be protected or saved for reuse as specified in this section.						
Tier 1. Disposed topsoil shall be stockpiled for reuse in a designated area and covered or protected from erosion.						
Tier 2. The construction area shall be identified and marked by flagging or staking to limit construction activity to the construction area.						
A4.106.3 Postconstruction landscape designs accomplish one or more of the following:						
1. Areas designated during construction are related to be consistent with native vegetation species and patterns.						
2. Utilize at least 75% native California or drought tolerant plant and tree species appropriate for the climate zone region.						

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2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST SECTION A4.602 Effective January 1, 2023 HCD SHL 620C (New 01/23)						
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	Mandatory	Tier 1	Tier 2	Prequalifies and Electives ¹	Enforcing Agency	Installer or Designer Third-Party
A4.106.4 Permeable paving is utilized for the parking, walking or patio surfaces in compliance with the following:						
Tier 1. Not less than 20% of the total parking, walking or patio surfaces shall be permeable.						
Tier 2. Not less than 20% of the total parking, walking or patio surfaces shall be permeable.						
A4.106.5 Roofing materials shall have a minimum 3-year aged solar reflectance and thermal emittance or a minimum Solar Reflectance Index (SRI) equal to or greater than the values specified in the applicable table.						
Low-Rise Residential						
Tier 1, roof covering shall meet or exceed the values contained in Table A4.106.5.1(1).						
Tier 2, roof covering shall meet or exceed the values contained in Table A4.106.5.1(2).						
High-Rise Residential, Hotels and Motels						
Tier 1, roof covering shall meet or exceed the values contained in Table A4.106.5.1(3).						
Tier 2, roof covering shall meet or exceed the values contained in Table A4.106.5.1(4).						
A4.106.6 Install a vegetated roof by at least 50 percent of the roof area. Vegetated roofs shall comply with requirements for roof gardens and landscaped roofs in the California Building Code, Chapters 15 and 16.						
A4.106.7 Reduce nonroof hard surface for 50 percent of sidewalks, patios, driveways or other paved areas by using one or more of the methods listed.						
A4.106.8.1 Tier 1 and Tier 2 for one- and two-family dwellings and townhouses with attached private garages. Install a dedicated 200/240-volt branch circuit, including an overcurrent protective device rated at 40 amperes minimum for dwelling unit.						
A4.106.8.2.1 Provide capability for electric vehicle charging in new multifamily dwellings, as specified.						
Tier 1. 35 percent of the total number of parking spaces shall be electric vehicle (EV) ready with power Level 2 EV charging receptacles. For projects with 20 or more dwelling units, sleeping units or guest rooms, 10 percent of the total number of parking spaces shall be equipped with Level 2 EVSE.						
Tier 2. 40 percent of the total number of parking spaces shall be electric vehicle (EV) ready with low power Level 2 EV charging receptacles. For projects with 20 or more dwelling units, sleeping units or guest rooms, 10 percent of the total number of parking spaces shall be equipped with Level 2 EVSE.						

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2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST SECTION A4.602 Effective January 1, 2023 HCD SHL 620C (New 01/23)						
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Tier 1	Tier 2	Prequalifies and Electives ¹	Enforcing Agency	Installer or Designer Third-Party
A4.106.6 Provide bicycle parking facilities as noted below or meet a local ordinance, whichever is more stringent. Number of bicycle parking spaces may be reduced, as approved by the enforcing agency, due to building site characteristics, including but not limited to, location from other development.						
1. Provide short-term bicycle parking, per Section A4.106.6.1.						
2. Provide long-term bicycle parking for multifamily buildings, per Section A4.106.6.2.						
3. Provide long-term bicycle parking for hotel and motel buildings, per Section A4.106.6.3.						
Innovative Concepts and Local Environmental Conditions						
A4.108.1 Items in this section are necessary to address innovative concepts or local environmental conditions.						
Item 1						
Item 2						
Item 3						
ENERGY EFFICIENCY (LOW-RISE RESIDENTIAL)						
General						
4.201.1 Building meets or exceeds the requirements of the California Building Energy Efficiency Standards ²						
Performance Approach for Newly Constructed Buildings						
A4.203.1.1 Hourly Source Energy Design Ratings (EDR1). EDR1 ratings for building design shall be computed by Energy Compliance software and shall reduce the EDR1 required by the software by the compliance margins specified in Table A4.203.1.1.						

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2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST SECTION A4.602 Effective January 1, 2023 HCD SHL 620C (New 01/23)						
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Tier 1	Tier 2	Prequalifies and Electives ¹	Enforcing Agency	Installer or Designer Third-Party
A4.203.1.2 Prequalifying options. In addition, a minimum of two of the efficiency measures specified in Sections A4.203.1.2.1 through A4.203.1.2.8 will be required to be met:						
• Roof Deck Insulation or Ducts in Conditioned Space.						
• High Performance Walls.						
• Compact Hot Water Distribution System.						
• Drain Water Heat Recovery.						
• High Performance Vertical Fenestration.						
• Heat Pump Water Heater Demand Management.						
• Battery Storage System Controls.						
• Heat Pump Space and Water Heating.						
A4.203.1.3 Consultation with local electric service provider. Local jurisdictions considering adoption of reduced EDR1 targets based on using solar photovoltaic (PV) systems larger than required by the California Energy Code shall consult with the local electric service provider to ensure that the PV system sizing required to comply with the EDR1 targets will be acceptable to the local electric service provider.						
WATER EFFICIENCY AND CONSERVATION						
Indoor Water Use						
A4.303.1 Plumbing fixtures (water closets and urinals) and fittings (insewerheads, faucets and pre-rinse spray valves) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.5.						
A4.303.2 Submeters for multi-family building and dwelling units in mixed-use residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.						
A4.303.3 Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code and shall meet the applicable referenced standards.						

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2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST SECTION A4.602 Effective January 1, 2023 HCD SHL 620C (New 01/23)						
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Tier 1	Tier 2	Prequalifies and Electives ¹	Enforcing Agency	Installer or Designer Third-Party
A4.303.1 The maximum flow rate of kitchen faucets shall not exceed 1.5 gallons per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 80 psi and must default to a maximum flow rate of 1.5 gallons per minute at 80 psi.						
Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reductions.						
A4.303.1.4.3 Metering devices in residential buildings shall not deliver more than 0.2 gallons per cycle.						
A4.303.2 Alternate water source for nonpotable applications. Alternate nonpotable water sources are used for indoor potable water reduction. Alternate nonpotable water sources shall be installed in accordance with the California Plumbing Code.						
A4.303.3 Install at least one qualified ENERGY STAR dishwasher or clothes washer.						
A4.303.4 Rainwater capture or wastewater reuse are installed.						
A4.303.5 One- and two-family dwellings shall be equipped with a demand hot water recirculation system.						
Outdoor Water Use						
A4.304.1 Residential developments shall comply with a local water efficient landscaping ordinance or the current California Department of Water Resources' Model Water Efficient Landscaping Ordinance (MWELO), whichever is more stringent.						
A4.304.1.1 A rainwater capture, storage and re-use system is designed and installed.						
A4.304.2.1 Landscape design is installed, which does not utilize potable water.						
A4.304.3 For new water service connections, landscaped irrigated areas less than 5,000 square feet shall be provided with separate submeters or metering devices for outdoor potable water use.						
Water Reuse Systems						
A4.305.1 Piping is installed to permit future use of a greywater irrigation system served by the clothes washer or other fixtures.						
A4.305.2 Recycled water piping is installed.						
A4.305.3 Recycled water is used for landscape irrigation.						

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This set of plans and specifications must be kept on the job at all times and it is understood that any changes or deviations from the same without written permission from the Building Inspector Division. The approval of this plan and specifications shall NOT be held in abeyance or approval be violation of any City Ordinance or State Law.



BAJ
GRAPHIC DESIGN

9743 WHITE PINE WAY, ELK GROVE, CA 95624
Email: helenmuyers36@gmail.com
Tel: (916) 526-5681 & (408) 876-8402

Date: JANUARY 2024

Scale: AS SHOWN

Drawn: LYUENHONG NGUYEN

Signed: *Thuy*

STAMPED FROM CITY

ISSUED BY
City of Sacramento
By: **RLLeach**
on May 14, 2024

CG-2 CAL GREEN MANDATORY
PHOENIX BUI'S RESIDENCE
5460 WARDELL WAY,
SACRAMENTO, CA 95823

REVISION DATE BY

SHEET NO.

A-7

2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST SECTION A4.602 Effective January 1, 2023 HCD 69A, 69D0 (New 01/23)										
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD			Pre-qualifies and Elective ¹	Enforcing Agency	Installer or Designer	Third- Party
	Mandatory	Tier 1	Tier 2	All	All	All				
Innovative Concepts and Local Environmental Conditions										
A4.606.1 Items in this section are necessary to address innovative concepts or local environmental conditions.										
Item 1										
Item 2										
Item 3										
MATERIAL CONSERVATION AND RESOURCE EFFICIENCY										
Foundation Systems										
A4.403.1 A Frost Protected Shallow Foundation (FPSF) is designed and constructed.										
A4.403.2 Current use in foundation mix design is reduced. Tier 1. Not less than a 20 percent reduction in current use. Tier 2. Not less than a 25 percent reduction in current use.										
Efficient Framing Techniques										
A4.404.1 Beams and headers and trimmers are the minimum size to adequately support the load.										
A4.404.2 Building dimensions and layouts are designed to minimize waste.										
A4.404.3 Use prefabricated building systems to eliminate solid waste lumber whenever possible.										
A4.404.4 Material lists are included in the plans which specify material quantity and provide direction for on-site cuts.										
Material Sources										
A4.405.1 One or more of the following building materials, that do not require additional resources for finishing are used:										
1. Exterior trim not requiring paint or stain.										
2. Windows not requiring paint or stain.										
3. Siding or exterior wall coverings which do not require paint or stain.										

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2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST										
SECTION A4.602										
Effective January 1, 2023										
HCD 69A, 69D0 (New 01/23)										
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD			Pre-qualifies and Elective ¹	Enforcing Agency	Installer or Designer ²	Third- Party
	Mandatory	Tier 1	Tier 2	All	All	All				
A4.406.2 Floors that do not require additional coverings are used including but not limited to stained, natural or stamped concrete floors.									☐	☐
A4.406.3 Postconsumer or preconsumer recycled content value (RCV) materials are used on the project.									☐	☐
Tier 1. Not less than a 10% RCV.									☐	☐
Tier 2. Not less than a 15% RCV.									☐	☐
A4.406.4 Renewable source building products are used.									☐	☐
Enhanced Durability and Reduced Maintenance										
A4.406.1 Aromatic spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.									☐	☐
Water Resistance and Moisture Management										
A4.407.1 Install foundation and landscape drains.									☐	☐
A4.407.2 Install gutter and downspout systems to route water at least 5 feet away from the foundation or connect to landscape drains which discharge to a dry well, sump, bio-retention, rainwater capture system or other approved on-site location.									☐	☐
A4.407.3 Provide flashing details on the building plans and comply with accepted industry standards or manufacturer's instructions.									☐	☐
A4.407.4 Protect building materials delivered to the construction site from rain and other sources of moisture.									☐	☐
A4.407.5 In Climate Zone 16, an overwater barrier is installed at roof valleys, eaves and walls to roof intersections.									☐	☐
A4.407.6 Exterior doors to the dwelling are protected to prevent water intrusion.									☐	☐
A4.407.7 A permanent overhang or eave at least 2 feet in depth is provided at all exterior walls.									☐	☐

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2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST SECTION A4.602 Effective January 1, 2023 HCD 69A, 69D0 (New 01/23)										
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD			Pre-qualifies and Elective ¹	Enforcing Agency	Installer or Designer	Third- Party
	Mandatory	Tier 1	Tier 2	All	All	All				
CONSTRUCTION Waste Reduction, Disposal and Recycling										
A4.408.1 Recycle entire salvage for reuse is minimum of 65% of the nonhazardous construction and demolition waste in accordance with one of the following:										
1. Comply with a more stringent local construction and demolition waste management ordinance; or										
2. A construction waste management plan, per Section 4.408.2; or										
3. A waste management company, per Section 4.408.3; or										
4. The waste stream reduction alternative, per Section 4.408.4.										
A4.408.1 Construction waste generated at the site is directed to recycle or salvage in compliance with one of the following:										
Tier 1. At least a 65% reduction with a third-party verification.										
Tier 2. At least a 75% reduction with a third-party verification.										
Exception: Equivalent waste reduction methods are developed by working with local agencies.										
Building Maintenance and Operation										
A4.410.1 An operation and maintenance manual shall be provided to the building occupant or owner.										
A4.410.2 Where 5 or more multiunit dwelling units are constructed on a building site, provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, compacted cardboard, glass, plastics, organic waste, and metals or metal a heavily encased local recycling ordinance, if more restrictive.										
Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42648.02(a)(2)(A) et seq. will also be exempt from the organic waste portion of this section.										
Innovative Concepts and Local Environmental Conditions										
A4.411.1 Items in this section are necessary to address innovative concepts or local environmental conditions.										

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2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST									
SECTION A4.602									
Effective January 1, 2023									
HCD 69A, 69D0 (New 01/23)									
FEATURE OR MEASURE	LEVEL 3 APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD					
	Mandatory	Prequalifies and Elective ¹	Enforcing Agency	Installer or Designer	Third- Party	All	All	All	All
Item 1	☐	☐	☐	☐	☐	☐	☐	☐	☐
Item 2	☐	☐	☐	☐	☐	☐	☐	☐	☐
Item 3	☐	☐	☐	☐	☐	☐	☐	☐	☐
ENVIRONMENTAL QUALITY									
Fireplaces									
4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.									
Pollutant Control									
4.504.1 Dust openings and other related air distribution component openings shall be covered during construction.									
4.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.									
4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits.									
4.504.2.3 Aerosol paints and coatings shall be compliant with product-weighted MIB Limits for VOC and other toxic compounds.									
4.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials have been used.									
4.504.3 Carpet and carpet systems shall be compliant with VOC limits.									
4.504.4 80% of floor area receiving resilient flooring shall comply with specified VOC criteria.									
4.504.5 Particulateboard, medium density fiberboard (MDF) and hardboard plywood used in interior finish systems shall comply with low formaldehyde emission standards.									

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2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST										
SECTION A4.602										
Effective January 1, 2023										
HCD 69A, 69D0C (New 01/23)										
FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD			Pre-qualifies and Elective ¹	Enforcing Agency	Installer or Designer	Third- Party
	Mandatory	Tier 1	Tier 2	All	All	All				
A4.504.1 Use composite wood products made with either California Air Resources Board approved no-added formaldehyde (NAF) resins or ultra-low emitting formaldehyde (ULEF) resins.										
A4.504.2 Install VOC compliant resilient flooring systems.										
Tier 1. At least 90% of the resilient flooring installed shall comply.										
Tier 2. 100% of the resilient flooring installed shall comply.										
A4.504.3 Thermal insulation installed in the building shall meet the following requirements:										
Tier 1. Install thermal insulation in compliance with VOC limits.										
Tier 2. Install insulation which contains no-added formaldehyde (NAF) and is in compliance with Tier 1.										
Interior Moisture Control										
A4.505.2 Vapor retarder and capillary break is installed at slab-on-grade foundations.										
A4.505.3 Moisture content of building materials used in wall and floor framing is checked before enclosures.										
Indoor Air Quality and Exhaust										
A4.506.1 Each bathroom shall be provided with the following:										
1. ENERGY STAR fans ducted to terminate outside the building.										
2. Fans must be controlled by a humidity control (automatic or built-in), OR functioning as a component of a whole-house ventilation system.										
3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of 40% to a maximum of 80%.										
A4.506.1 Reserved.										
A4.506.2 [HRC] Provide filters on return air openings rated MERV 8 or higher during construction when it is necessary to use HVAC equipment.										
A4.506.3 Direct-vent appliances shall be used when equipment is located in conditioned space, or the equipment must be installed in an isolated mechanical room.										

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2022 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST SECTION A4.602 Effective January 1, 2023 HCD 69A, 69D0 (New 01/23)										
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	Mandatory	Tier 1	Tier 2	All	All	All				
Environmental Comfort										
A4.507.2 Duct systems are sized, designed, and equipment is selected using the following methods:										
1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J - 2016 or equivalent.				☒			☐	☐	☐	☐
2. Size duct systems according to ANSI/ACCA 1 Manual D - 2016 or equivalent.							☐	☐	☐	☐
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 or equivalent.							☐	☐	☐	☐
Outdoor Air Quality Reserved										
Innovative Concepts and Local Environmental Conditions										
A4.509.1 Items in this section are necessary to address innovative concepts or local environmental conditions.										
Item 1				☐	☐	☐	☐	☐	☐	☐
Item 2				☐	☐	☐	☐	☐	☐	☐
Item 3				☐	☐	☐	☐	☐	☐	☐
INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS										
Qualifications										
702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.				☒			☐	☐	☐	☐
702.2 Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.				☒			☐	☐	☐	☐
Verifications										
703.1 Verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.										

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¹ Open building measures listed in this table may be mandatory if adopted by a city, county, or city and county as specified in Section 101.7

² Required prerequisite for this Tier.