

STRUCTURAL GENERAL NOTES

A. GENERAL

- ALL WORK SHALL CONFORM TO CURRENT 2019 UBC, CBC, CMC, CPC, 2019 NEC, 2019 CEC, LAWS & ORDINANCES
- THE CONTRACTOR SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS & WHAT IS SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- ANY OMISSIONS OR CONFLICTS BETWEEN THE ARCHITECTURAL, STRUCTURAL & MECHANICAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE CITY INSPECTOR.
- SHOP DRAWINGS REQUIRED BY THE SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION, & ALLOW REASONABLE TIME FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING THE CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING & GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES. ANY DEVIATIONS MUST BE APPROVED PRIOR TO ERECTION.
- ALL CONDITIONS NOT CLEARLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE & CHARACTER AS THOSE SHOWN FOR SIMILAR CONDITIONS.

B. FOUNDATION

- FOUNDATION EXCAVATIONS SHALL BE FREE OF LOOSE MATERIAL PRIOR TO THE PLACEMENT OF ANY REINFORCING STEEL OR CONCRETE.

C. CONCRETE

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- CONCRETE SHALL BE REGULAR WEIGHT HARD ROCK TYPE(150#CF) & AGGREGATE SHALL CONFORM TO ASTM C33 U.O.N.
- CEMENT SHALL CONFORM TO ASTM C150, TYPE 1 OR 2.
- PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH ACI 301.
- CONCRETE SHALL BE MACHINE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C-94. SUBMIT MIX DESIGN TO THE ARCHITECT FOR APPROVAL PRIOR TO PLACING CONCRETE.
- PROVIDE MINIMUM CLEAR COVER OF CONCRETE OVER REINFORCING AS FOLLOWS

D. REINFORCING STEEL

- ALL REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATION A615 GRADE 60 FOR #5 AND LARGER BARS AND GRADE 40 FOR #3 & #4.
- ALL REINFORCING STEEL SHALL BE LAPPED AS NOTED BELOW. #4: 24" FOR BOTTOM BARS AND 28" FOR TOP BARS. #5: 30" FOR BOTTOM BARS AND 35" FOR TOP BARS. #6: 40" FOR BOTTOM BARS AND 46" FOR TOP BARS AT SPLICES UNLESS OTHERWISE NOTED ON PLANS. SPLICES SHALL BE LOCATED AS DETERMINED IN THE PLANS. STAGGER ALL LAPS SPLICES.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND A185.
- ANCHOR BOLTS, DOWELS AND OTHER EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE BEFORE CONCRETE IS PLACED, USE CYT THREAD ANCHOR BOLTS ONLY.

E. STRUCTURAL & MISC. STEEL

- FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH LATEST AISC SPECIFICATIONS. STRUCTURAL STEEL SHALL BE ASTM A36, EXCEPT TUBE COLUMNS WHICH ARE ASTM A500, GRADE B.
- WELDING TO BE IN ACCORDANCE WITH AWS SPECIFICATIONS. WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS USING E7XX ELECTRODES.
- ALL PLATES, ETC., TO BE BOLTED TO CONCRETE ELEMENTS, SHALL NOT BE FABRICATED UNTIL THE BOLTS HAVE BEEN LOCATED IN THE FIELD.
- BOLTS SHALL BE ASTM A307 TYPE. THREADS MAY BE INCLUDED IN THE SHEAR PLANES
- STEEL TO BE SHOP PRIMED FOR, EXCEPT WHERE EMBEDDED IN CONCRETE OR TO BE WELDED.
- ALL WELDING SHALL BE CONTINUOUSLY INSPECTED BY AN INDEPENDENT INSPECTOR APPROVED BY THE BUILDING DEPARTMENT.

F. WOOD FRAME CONSTRUCTION

- GENERAL WOOD FRAMING: WOOD FRAMING THROUGHOUT THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE (2019) AND THE STANDARD PRACTICES RECOMMENDED BY AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND WCLA GRADING. FOR NAILING SEE SECTION J. BOLTS IN WOOD FRAMING SHALL BE STANDARD MACHINE BOLTS WITH STANDARD MALLEABLE IRON WASHERS.
- WOOD PLATES: BEARING DIRECTLY UPON CONCRETE SHALL BE P.T.D.F.
- UNLESS OTHERWISE NOTED ON DRAWINGS OR IN SPECIFICATIONS, FRAMING MEMBERS SHALL HAVE THE FOLLOWING GRADING:

G. NAIL SCHEDULE

- WOOD MEMBERS SHALL BE CONNECTED WITH NAILING INDICATED IN TABLE 2304.9.1 OF 2019 CBC UNLESS GREATER SIZES AND NUMBER OF NAILS ARE SHOWN OR NOTED ON DRAWINGS; NAILS EXPOSED TO WEATHER SHALL BE GALVANIZED; NAILS SHALL BE COMMON WIRE NAILS; HOLES FOR NAILS SHALL BE PROVIDED WHERE THE WOOD TENDS TO SPLIT; SPLIT WOOD MEMBERS SHOULD BE REPLACED AND REMOVED FROM THE JOB PROMPTLY. SHORT PLYWOOD NAILS FOR EQUIVALENT SHEAR VALUE MAY BE USED. SEE PLANS FOR NAIL SPACING. NAIL ROOF SHEATHING 8d @ 6" O.C. AT SUPPORTED EDGES. 8d @ 10 INCHES O.C. AT INTERMEDIATE SUPPORTS. FLOOR SHEATHING 8d @ 6" O.C. AT BOUNDARIES AND PANEL EDGES AND 8d @ 10" O.C. AT INTERMEDIATE SUPPORTS. PLYWOOD WALL SHEATHING SHALL BE NAILED PER SHEAR WALL SCHEDULE AT SHEAR WALLS, AND AT A MINIMUM OF 8d @ 6" O.C. ALL OTHER EDGES.
- AT PRESSURE TREATED LUMBER USE HOT-DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

G. FIRE SPRINKLES

ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISION OFF THE CFC CHAPTER 14 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7

LOT INFORMATION

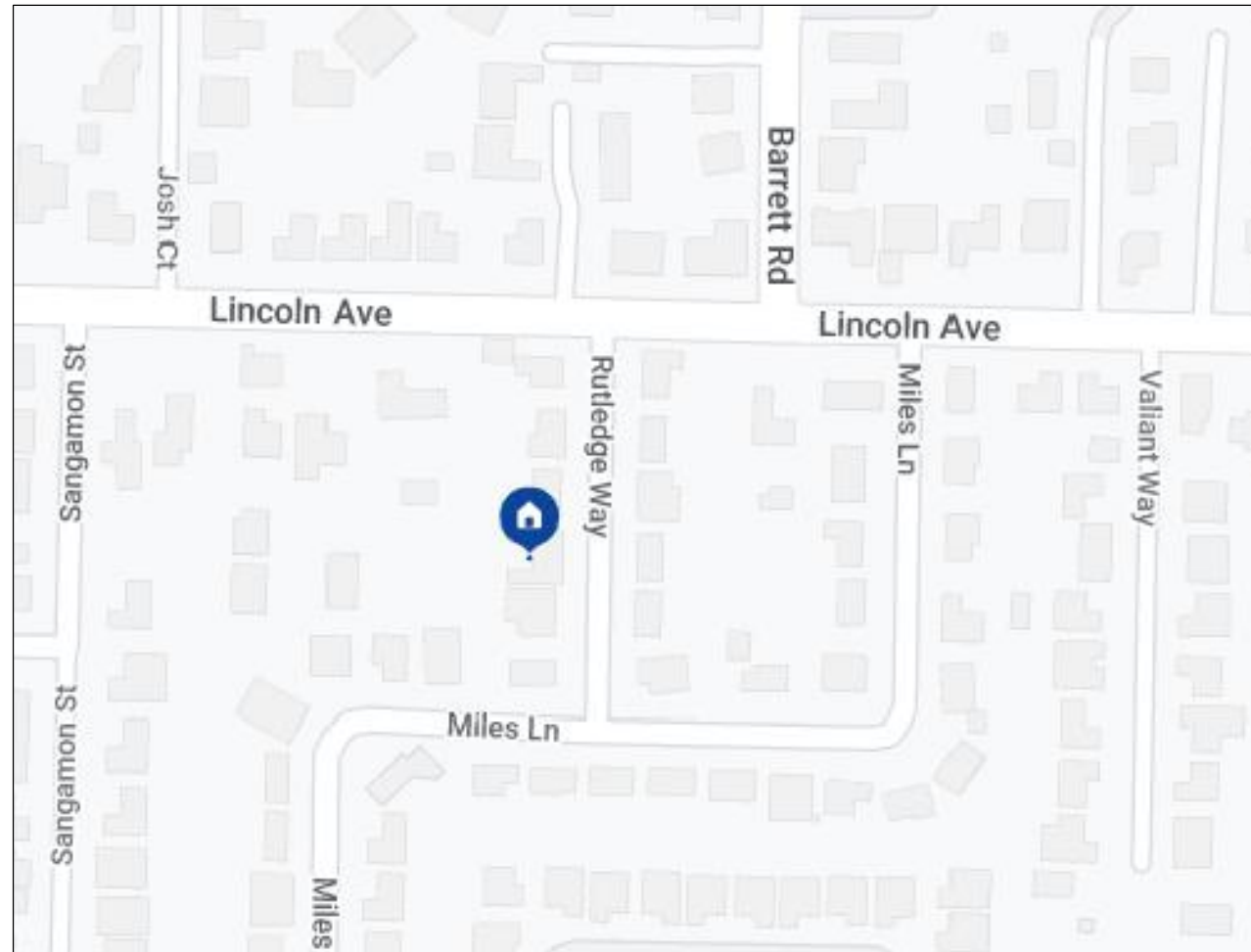
OWNER:	HAO TAN DOAN RESIDENCE		
LOCATION:	4109 RUTLEDGE WAY, CARMICHAEL, CA 95608		
EXISTING USE:	SINGLE FAMILY RESIDENCE		
A.P.N.:	2450231004		
LOT GROSS SIZE:	10,019 S.F.		
CONSTRUCTION TYPE:	V B		
ALLOWABLE FLOOR AREA:	4,509 S.F		
LOT AVERAGE SLOPE:	(FLAT)		
FLOOR AREA:	EXISTING	PROPOSAL	TOTAL
DWELLING:	1,200 S.F.		1,200 S.F.
GARAGE:	384 S.F.	384 S.F.	384 S.F.
TOTAL FOOTPRINT:			1,584 S.F.
F.A.R.:			15.8 %

SCOPE OF WORK

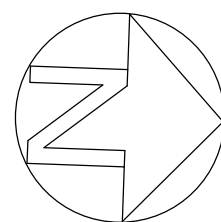
(E) GARAGE CONVERT TO BE JADU 384 S.F INCLUDED: 1 BEDROOM, 1 BATHROOM AND 1 KITCHEN

CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:  
-2019 CALIFORNIA BUILDING CODES: CBC, CMC, CPC, CFC & CEC, CRC.  
-2019 CA ENERGY CODE  
-CITY OF CARMICHAEL MUNICIPAL CODE  
-ALL LOCAL ORDINANCES



VICINITY MAP



PERMIT NUMBER

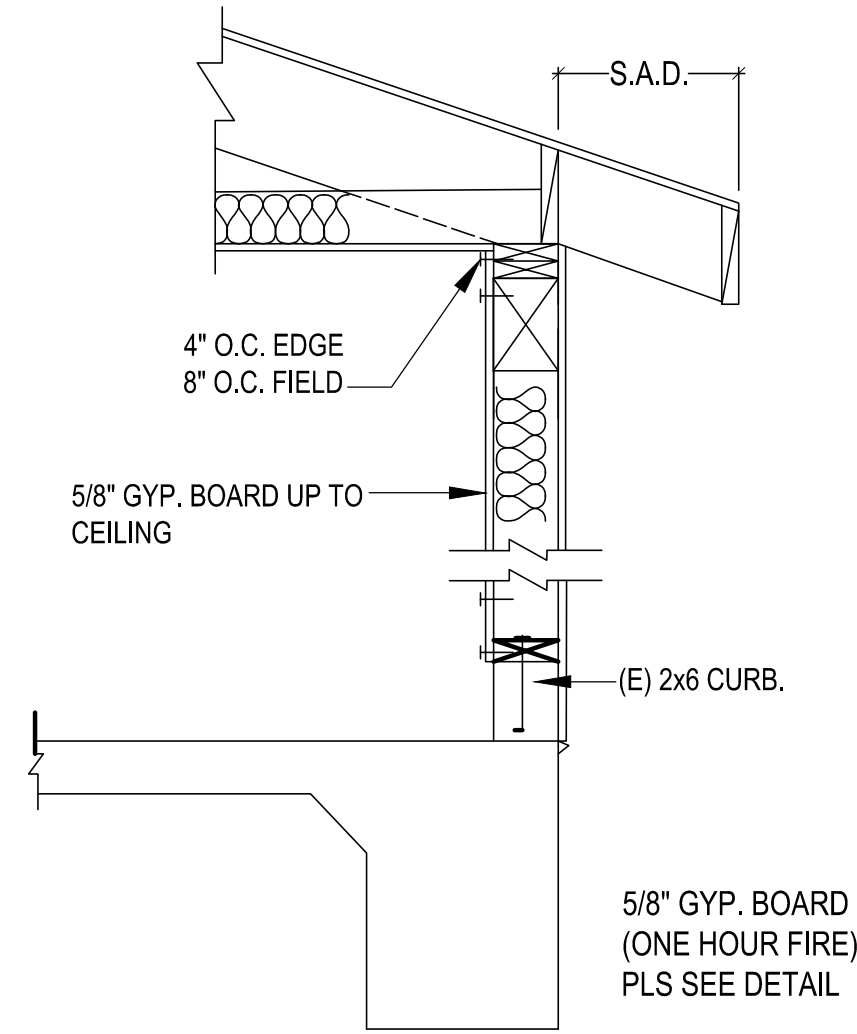
CBAR2022-01271

APPROVED

By GARY H. at 11:13 am, Apr 04, 2023

Smoke and Carbon Monoxide Alarms are required to be installed and operational at Final Inspection.

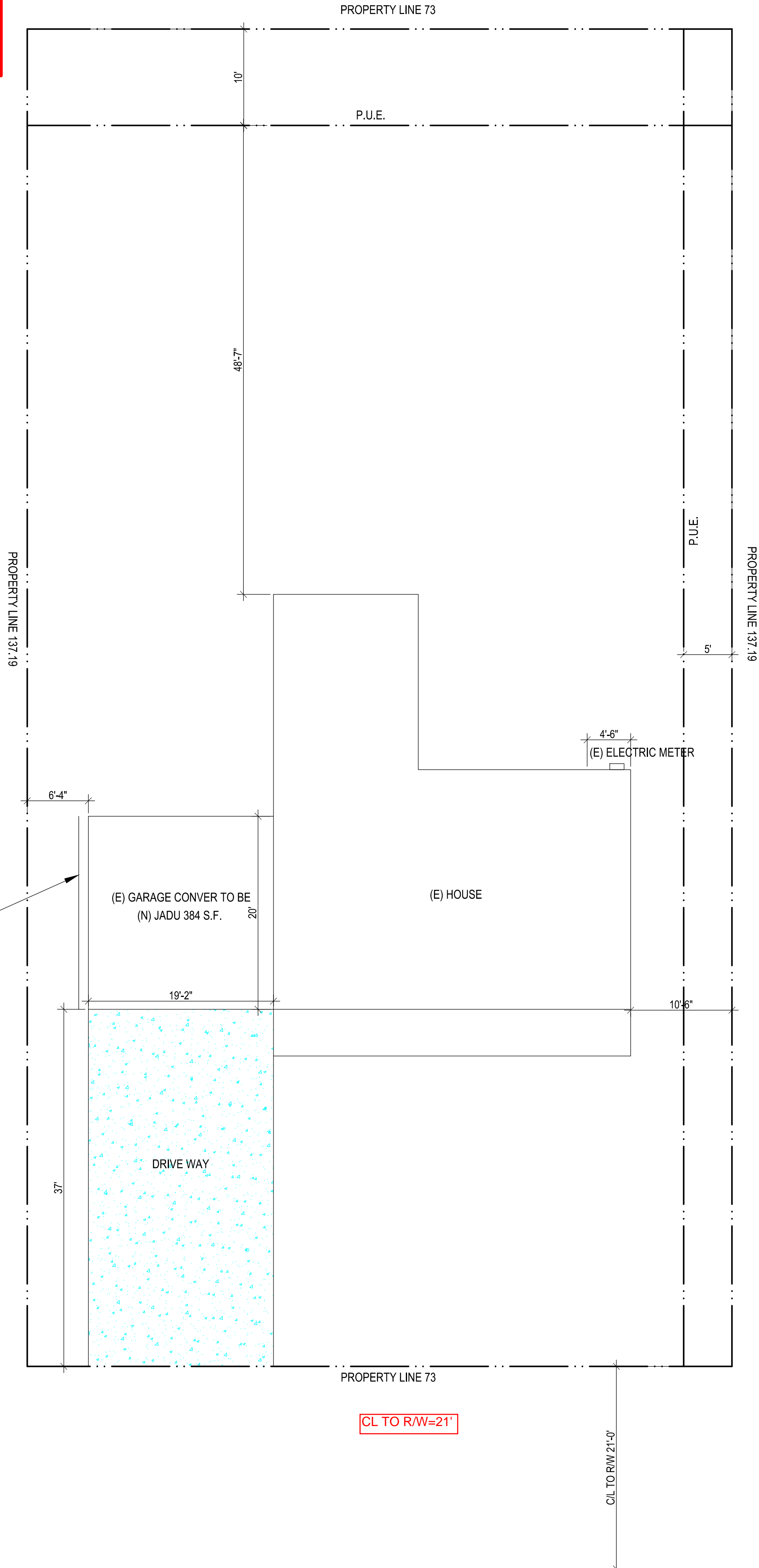
The Building Inspector will need to have access to verify location and operation before permit is final.



Conversion of existing structure to JRADU

PLANNING DIVISION APPROVED  
NAME: Mark Michellini  
DATE: 11/29/2022

TECHNICAL RESOURCES CONFIRMS THE PROPOSED STRUCTURE(S) ON THE SITE PLAN IS OUTSIDE KNOWN PUBLIC EASEMENTS AND THE PROPERTY LAYOUT IS CONSISTENT WITH THE ASSESSOR'S PARCEL PAGE.  
NAME: LAI MAN CHEUNG DATE: Nov 29, 2022  
ENCROACHMENT OF STRUCTURES INCLUDING OVERHANDS IS NOT PERMITTED WITHIN PUBLIC AND PRIVATE EASEMENTS.  
ANY WORK WITHIN THE ROAD RIGHT-OF-WAY REQUIRES AN APPROVED ENCROACHMENT PERMIT OR APPROVED IMPROVEMENT PLAN. TECHNICAL RESOURCES DOES NOT APPROVE BUILDING SETBACKS FROM ROADWAYS AND PROPERTY LINES.



4109 RUTLEDGE WAY, CARMICHAEL, CA 95608

SITE PLAN SCALE: 1 / 8" = 1'-0"

SHEET INDEX:

- SITE PLAN / ROOF PLAN, SUMMARY, NOTES, AREA.
- PROPOSAL FLOOR AND ELECTRIC PLAN
- ELEVATION PLAN
- FOUNDATION PLANS AND DETAILS
- ROOF FRAMING AND DETAILS
- T-24 ENERGY REPORT
- CAL GREEN
8. 2019 LR

BAJ  
GRAPHIC DESIGN

Date: NOVEMBER 2022

Scale: AS SHOWN

Drawn: WILLIAM TRAN & LUUYEN HONG NGUYEN

Email: william\_155@yahoo.com & helennguyen368@gmail.com (408) 876-8402 & (916) 526-6881

Phone: 9743 WHITE PINE WAY, ELK GROVE, CA 95624 1449 808 WHITE PLACE, SAN JOSE, CA 95131

Signed: *Thuy*

Owner: 4109 RUTLEDGE WAY CARMICHAEL, CA 95608 (930) 723-4708 HAODUANPOWER@YAHOO.COM

SITE PLAN  
HAO TAN DOAN RESIDENCE  
(E) GARAGE CONVERT TO BE JADU  
4109 RUTLEDGE WAY, CARMICHAEL, CA 95608

REVISION	BY

JOB  
04/04/2023

SHEET NO:

A-1

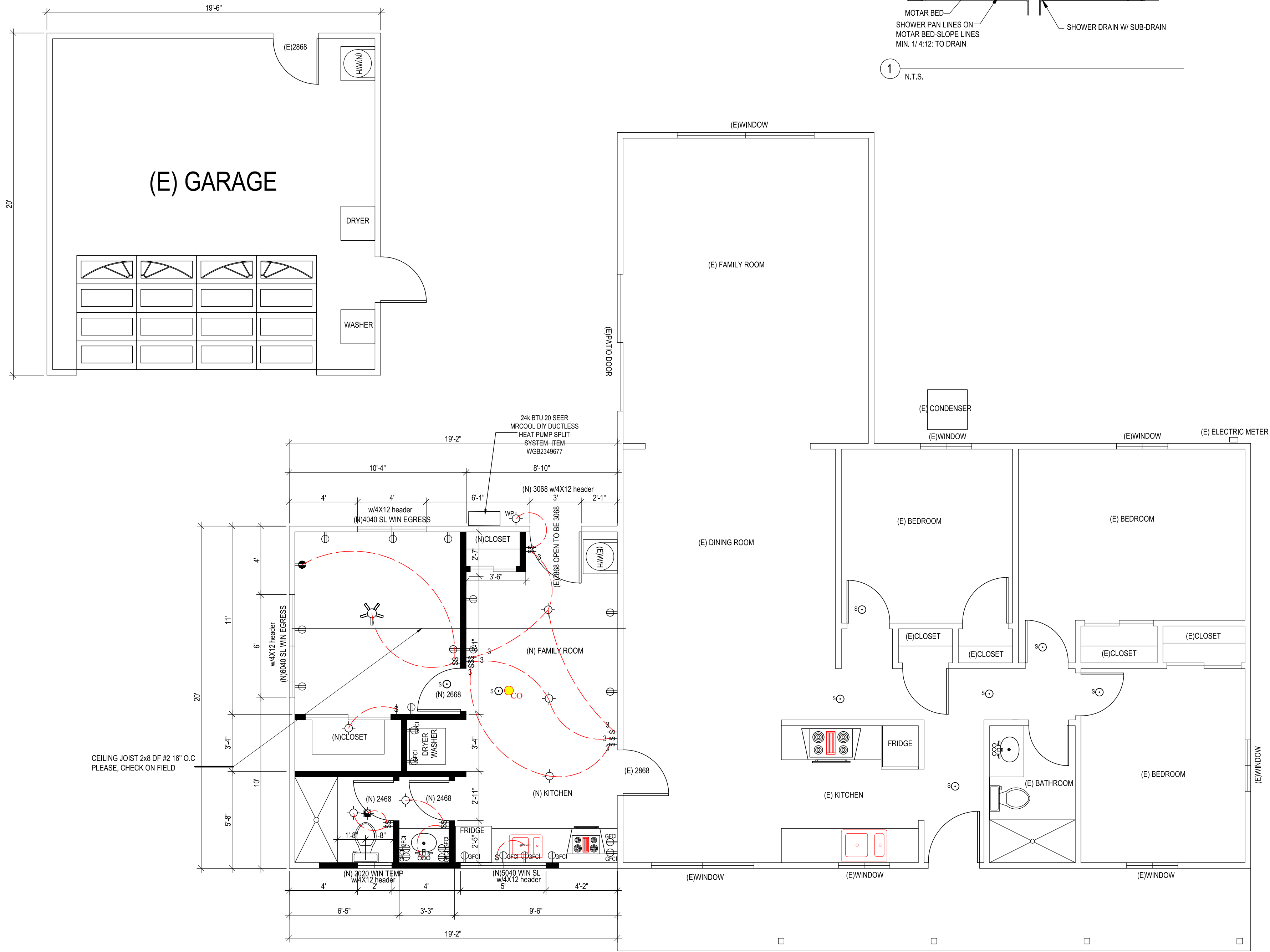


FLOOR PLAN NOTES:

1. ALL CONCRETE TO BE POURED ON UNDISTURBED SOIL.
2. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE FOUNDATION GRADE RWD OR PRESSURE TREATED.
3. ALL LUMBER USED IN CONSTRUCTION LOCATED NEARER THAN 8" TO EARTH SHALL BE F.G. RWD OR P.T.
4. PROVIDE SOLID BLOCKING FOR ALL PONY WALLS LESS THAN 14" HIGH
5. PROVIDE FIRESTOPS @ CONCEALED DRAFT OPENING, CEILING LINES, FLOOR LINES, FURRED AREAS, SUSPENDED CEILINGS, STAIR STRINGERS, SHOWERS, CHIMNEY ENCLOSURES, & MID HEIGHT OF WALLS OVER 10' IN HEIGHT.
6. VERIFY MIN. 22"x30" FLOOR ACCESS. ATTIC ACCESS WITH 30" CLEARING ABOVE OPENING.
7. DOORS, WINDOWS, & SHOWER DOORS WITHIN HAZARDOUS AREAS TO BE TEMPERED.
8. ALL POSTS, BEAMS & WALLS SUPPORTING THE FLOOR/ CEILING SHALL HAVE ONE-HOUR FIRE PROTECTION.
9. ALL NEW WINDOWS AND GLASS SLIDING DOOR SHALL BE LOW-E DUAL GLAZED U.N.O.
10. MATERIAL GRADE STAMPS WILL BE CHECKED ON FRAME INSPECTION.
11. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CBC, CMC, CPC, CEC, CRC AND CFC AND THE 2019 CALIFORNIA ENERGY CODE.
12. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE, APPROVED PLAN, 2) INTERIOR NON-STRUCTURAL WALL FINISHES; SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN) SHOWING CHANGES WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.
13. FIREBLOCKING WITH NON-COMBUSTIBLE MATERIAL SHALL BE PROVIDED IN OPENINGS AROUND VENTS, PIPES, DUCTS, FIREPLACES, AND SIMILAR OPENINGS PER CBC 708.2.1 (4).
14. PROVIDE SMOKE DETECTORS (HARDWIRED 110v W/BATT BACK-UP) IN EVERY BEDROOMS, THE HALL WAY TO THE BEDROOM, PROVIDE CARBON MONOXIDE SMOKE ALARM DETECTOR IN ALL SLEEPING ROOM.
15. IN EACH NEW BEDROOM, THERE IS AT LEAST ONE WINDOW, FOR EMERGENCY ESCAPE OR RESCUE: REQUIRE OPENING OF MINIMUM NET CLEAR AREA, 5.7 SQ. FT., HEIGHT 24", WIDTH 20", AND MAXIMUM FINISHED OPENING HEIGHT 44" ABOVE FINISH FLOOR
16. NEW 3'X3' MIN. CONCRETE LANDING AT ALL NEW EXTERIOR DOOR. LANDING SHALL NOT BE LOWER THAN 7-1/2" FROM FLOOR LEVEL.
17. BATHROOM SLIDING DOOR MUST BE TEMPERED GLASS.
18. ALL NEW BEDROOM MUST BE AFCI CIRCUIT.
19. PRESSURE OR THERMOSTATIC MIXING VALVE AT THE SHOWERS AND TUBS, WHICH LIMIT WATER TEMPERATURE TO 120 DEGREES F
20. THE SHOWERS MUST HAVE INSIDE DEMENSION OF AT LEAST 30 INCHES, THE TOTAL FLOOR AREA OF A SHOWER MUST BE AT LIST 1,024 SQUARE INCHES, OPENING TO SHOWER MUST BE MIN. 24 INCHES WIDE, THE DOOR MUST BE TEMPERED GLASS.(SEE DETAILS)

ELECTRICAL NOTES:

- MOTION SENSOR WITH INTEGRAL PHOTOCONTROL
2. ALL HARDWIRED LIGHTING IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS MUST BE HIGH EFFICACY OR CONTROLLED BY A MANUAL-ON MOTION SENSOR
  3. ALL HARDWIRED LIGHTING IN OTHER ROOMS (HALLWAYS, DINING ROOMS, FAMILY ROOMS AND BEDROOMS) SHALL BE HIGH EFFICACY OR CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR OR A DIMMER MUST CONTROL IT
  4. ALL SWITCHES ON A MULTIPLE SWITCHED CIRCUIT SHALL BE CONTROLLED



PROPOSAL FLOOR PLAN  
SCALE: 1 / 4" = 1'-0"

- NEW WALL
- EXISTING WALL TO REMAIN.
- EXISTING WALL TO BE REMOVE
- EXISTING OPENING TO BE ENCLOSED

- NOTES
- (E) EXISTING
- (N) NEW
- DUPLEX RECEPTACLE, MTD @ 12" U.O.N.
- WEATHERPROOF DUPLEX RECEPTACLE OUTLET W/GFI
- DUPLEX RECEPTACLE OUTLET W/GFI
- 220V DUPLEX RECEPTACLE OUTLET
- CEILING RECEPTACLE OUTLET
- FLOOR DUPLEX RECEPTACLE OUTLET
- DUPLEX RECEPTACLE, MTD@12" U.O.N., SPLIT WIRE WITH HALF SWICONTROLLED SWITCH
- 3-WAY SWITCH, MTD @ + 48 U.O.N.
- 4-WAY SWITCH
- DIMMER SWITCH
- INCANDESCENT LIGHT FIXTURE (CEILING)
- INCANDESCENT LIGHT FIXTURE (WALL)
- WEATHERPROOF LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- FAN/LIGHT SIDE BY SIDE COMBINATION (RESCENT)
- EXHAUST FAN
- CARBON MONOXIDE SMOKE DETECTOR W/BATTERY BACK UP
- CHIMES
- PUSH BUTON
- TELEVISION OUTLET
- PHONE JACK
- TV CABLE JACK
- DOOR BELL
- ELECTRICAL DISCONNECT
- HORSE BID WITH BACKFLOW PREVENTATION DEVICE
- GAS RISER
- CEILING SUPPLY AIR REGISTER

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PLANNING DIVISION APPROVED

NAME: Mark Michelini

DATE: 11/29/2022

BAJ  
GRAPHIC DESIGN

Date: NOVEMBER 2022

Scale: AS SHOWN

Drawn: WILLIAM TRAN & LUYEN HONG NGUYEN

Email: willam\_355@yahoo.com & hehennnguyen369@gmail.com

Phone: (408) 276-6402 & (916) 526-5881

Address: 9743 WHITE PINE WAY, ELK GROVE, CA 95624

1449 BOB WHITE PLACE, SAN JOSE, CA 95131

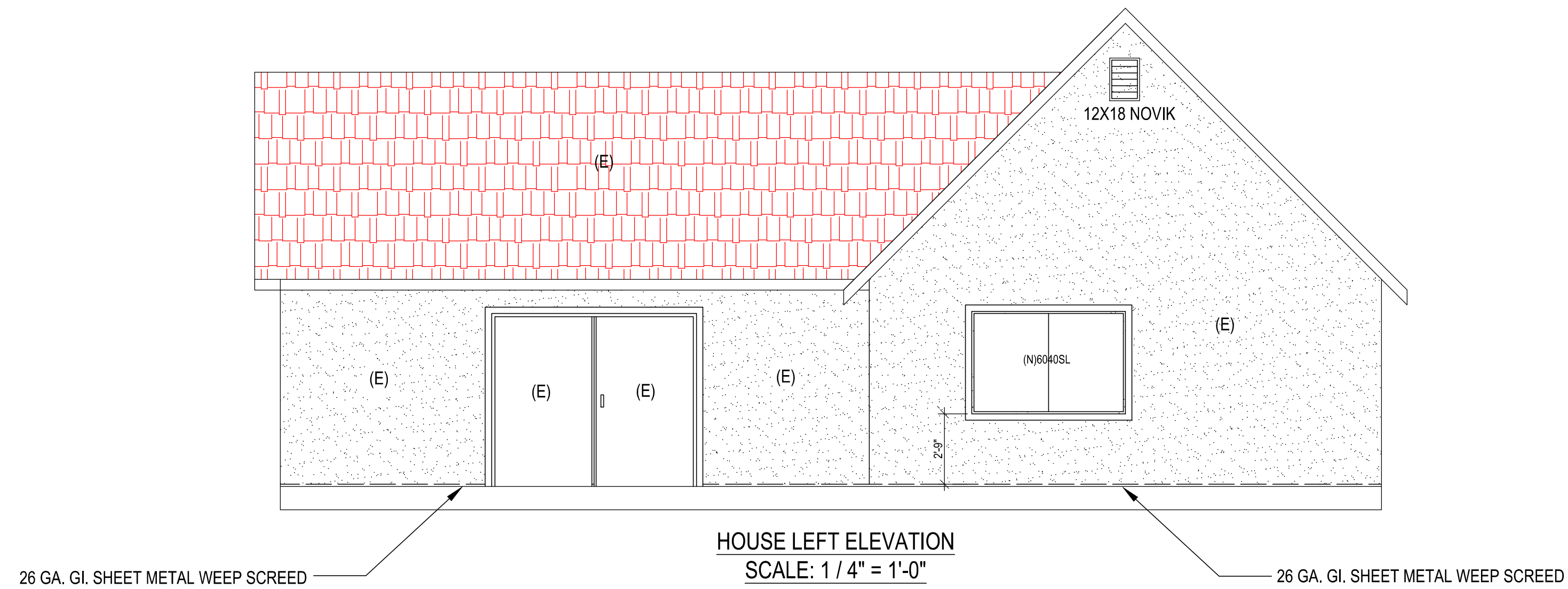
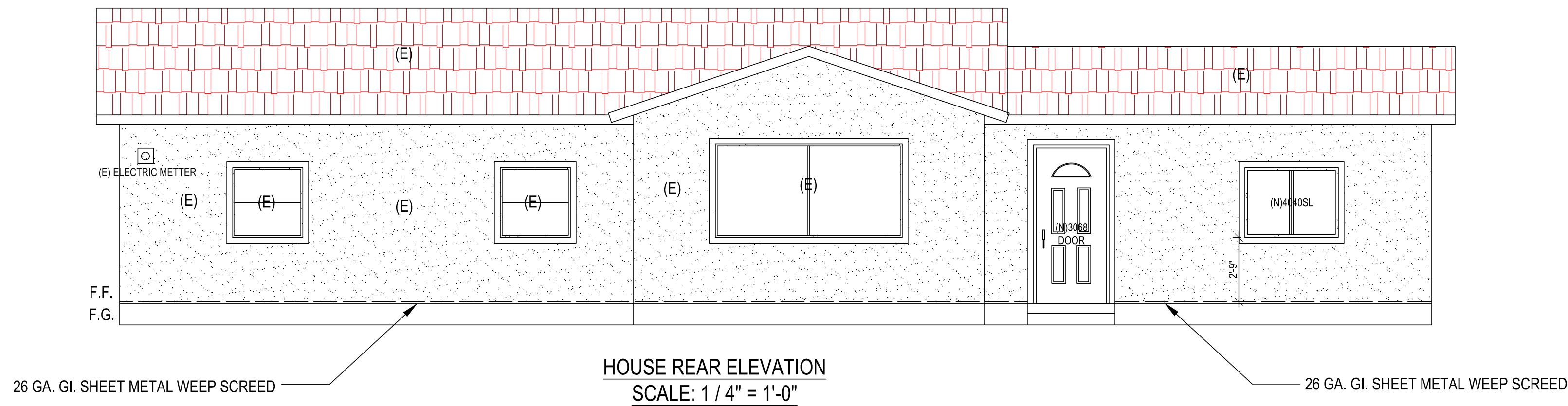
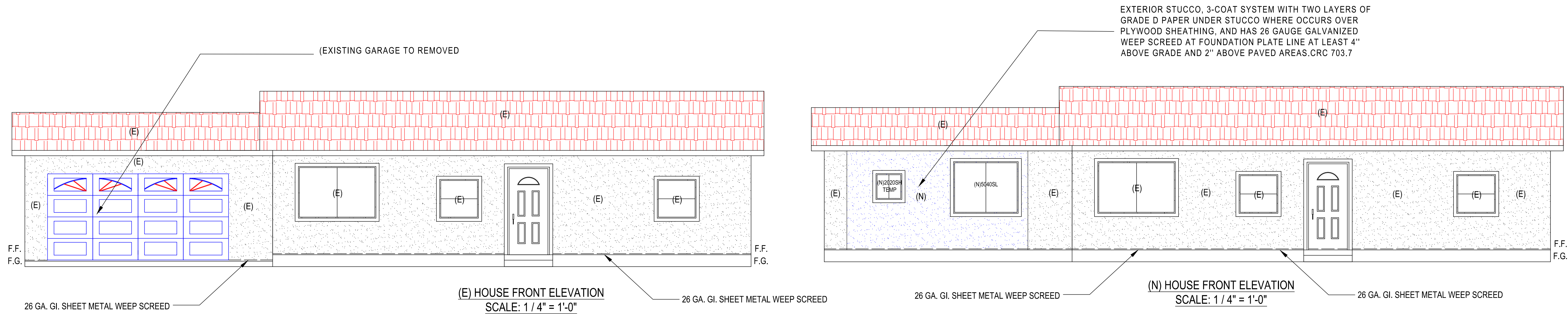
Signed: *Thuy*

PROPOSAL FLOOR AND ELECTRIC PLAN  
4109 RUTLEDGE WAY, CARMICHAEL, CA 95608

REVISION	BY

JOB  
04/04/2023

SHEET NO:  
A-2



REVISION	BY

JOB  
04/04/2023